



ZONING ADMINISTRATOR REGULAR MEETING AGENDA

**August 5, 2026 - 4:00 PM
Community Meeting Chambers
Los Altos City Hall
1 North San Antonio Road, Los Altos, CA**

PARTICIPATION: Members of the public may participate by being present at the Los Altos Community Meeting Chambers at Los Altos City Hall located at 1 N. San Antonio Rd, Los Altos, CA during the meeting. Public comment is accepted in person at the physical meeting location, or via email to ZAPublicComment@losaltosca.gov.

REMOTE MEETING OBSERVATION: Members of the public may view the meeting via the link below, but will not be permitted to provide public comment via Zoom or telephone. Public comment will be taken in-person, and members of the public may provide written public comment by following the instructions below.

<https://tinyurl.com/4zayceda>

Telephone: 1-669-900-9128 / Webinar ID: 842 6384 9525 / Passcode: 701956

SUBMIT WRITTEN COMMENTS: Verbal comments can be made in-person at the public hearing or submitted in writing prior to the meeting. Written comments can be mailed or delivered in person to the Development Services Department or emailed to ZAPublicComment@losaltosca.gov.

Correspondence must be received by 2:00 p.m. on the day of the meeting to ensure distribution prior to the meeting. Comments provided after 2:00 p.m. will be distributed the following day and included with public comment in the Zoning Administrator packet.

AGENDA

CALL MEETING TO ORDER

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

Members of the audience may bring to the Zoning Administrator's attention any item that is not on the agenda. Please complete a "Request to Speak" form and submit it to Staff. Speakers are generally given two or three minutes, at the discretion of the Zoning Administrator. Please be advised that, by law, the Zoning Administrator is unable to discuss or take action on issues presented during the Public Comment Period. According to State Law (also known as "the Brown Act") items must first be noticed on the agenda before any discussion or action.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

1. Zoning Administrator Meeting Minutes

Approval of the DRAFT minutes of the regular meeting of July 15, 2026.

PUBLIC HEARING

2. SC25-0009 – Keith Gordon – 108 Hillview Avenue

Request for Design Review application SC25-0009 to construct a new 233 square-foot first story and 624 square-foot, second-story addition to an existing 1,361 square-foot, single-story home. The project site is located on the south side of Hillview Avenue, between San Antonio Road and Eleanor Avenue. The project is categorically exempt from environmental review pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA).

ADJOURNMENT

SPECIAL NOTICES TO THE PUBLIC

In compliance with the Americans with Disabilities Act and California Law, it is the policy of the City of Los Altos to offer its programs, services and meetings in a manner that is readily accessible to everyone, including individuals with disabilities. If you are a person with a disability and require information or materials in an appropriate alternative format; or if you require any other accommodation, please contact department staff. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility.

Agendas, Staff Reports and some associated documents for the Zoning Administrator items may be viewed on the Internet at <https://ca-losaltos.civicplus.com/527/Zoning-Administrator>.

Decisions of the Zoning Administrator are final unless appealed by filing an appeal with the City Clerk within 14 calendar days of the decision. No building permits shall be issued during this 14-day period.



ZONING ADMINISTRATOR MEETING MINUTES

4:00 PM – Wednesday, July 15, 2026

***Community Meeting Chambers, Los Altos City Hall
1 North San Antonio Road, Los Altos, CA***

CALL MEETING TO ORDER

At 4:00 p.m. the Zoning Administrator called the meeting to order.

ESTABLISH QUORUM

PRESENT: Zoning Administrator Williams

STAFF: Senior Planners Gallegos and Whitehill, and Associate Planner Liu

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR.

1. Zoning Administrator Meeting Minutes

Approval of the DRAFT minutes of the regular meeting of June 3, 2026.

Action: Zoning Administrator Williams approved the meeting minutes for the regular meeting of June 3, 2026.

The motion was approved (1-0) by the following vote:

AYES: Williams

NOES: None

PUBLIC HEARING

2. SC25-0011 - Veronique Garcia - 811 Nash Road

Request for Design Review to construct a new 1,121 square foot, second-story addition to an existing 4,302 square foot, single-story home. The project site is located on the north side of Nash Road. The project is categorically exempt from environmental review pursuant to Section 15301 (Existing Facilities) of the California Environmental Quality Act (CEQA). *Project Planner: Gallegos*

STAFF PRESENTATION

Senior Planner Gallegos presented the staff report recommending approval of design review application SC25-0011 subject to the listed findings and conditions of approval.

PUBLIC COMMENT

Bob Alper, project applicant Veronique Garcia, and property owner Henry Li provided public comments.

Action: Zoning Administrator Williams approved design review application SC25-0011 per the staff report findings and conditions of approval.

The motion was approved (1-0) by the following vote:

AYES: Williams

NOES: None

2. SC25-0012 - Mehran Soltanzadeh - 671 Covington Road

Request for Design Review to construct a new 3,720 square-foot, two-story home. The project site is located on the north side of Covington Road between Springer Road and Riverside Drive. The project is categorically exempt from environmental review pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA). *Project Planner: Liu*

STAFF PRESENTATION

Associate Planner Liu presented the staff report recommending approval of design review application SC25-0012 subject to the listed findings and conditions of approval.

PUBLIC COMMENT

Tricia Brennan and another neighbor, as well as the project applicant Mehran Soltanzadeh provided public comments.

Action: Zoning Administrator Williams approved design review application SC25-0012 per the staff report findings and conditions of approval.

The motion was approved (1-0) by the following vote:

AYES: Williams

NOES: None

3. SC25-0025 - Weiran Jia, Alignment Architects, Inc. - 399 Hawthorne Avenue

Request for design review application SC25-0025 for the construction of a new 3,471 square-foot two-story house subject to the listed findings and conditions of approval. The project categorically exempt under the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction or Conversion of Small Structures). *Project Planner: Whitehill*

STAFF PRESENTATION

Senior Planner Whitehill presented the staff report recommending approval of design review application SC25-0025 subject to the listed findings and conditions of approval.

PUBLIC COMMENT

None.

Action: Zoning Administrator Williams approved design review application SC25-0025 per the staff report findings and conditions of approval.

The motion was approved (1-0) by the following vote:

AYES: Williams

NOES: None

ADJOURNMENT

Zoning Administrator Williams adjourned the meeting at 4:28 PM.

Stephanie Williams
Zoning Administrator



ZONING ADMINISTRATOR STAFF REPORT

TO: Stephanie Williams, Zoning Administrator

FROM: Sean Gallegos, Senior Planner

SUBJECT: SC25-0009 – 108 Hillview Avenue

RECOMMENDATION

Approve design review application SC25-0009 for the construction of a 233-square-foot first-story addition and a 624-square-foot second-story addition to an existing 1,361-square-foot, single-story home, subject to the listed findings and conditions of approval; and find the project categorically exempt under the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities).

BACKGROUND

Project Description

- **Project Location:** 108 Hillview Avenue, located on the south side of Hillview Avenue, between San Antonio Road and Eleanor Avenue.
- **Lot Size:** 7,300 square feet
- **General Plan Designation:** Single-Family, Medium Lot (SF4)
- **Zoning Designation:** R1-10
- **Current Site Conditions:** One-story single-family residence with an attached garage, detached accessory structures, and mature landscaping

The proposed project includes a 233-square-foot first-story addition and a 624-square-foot second-story addition to an existing single-story home. The first-story addition would expand the kitchen and accommodate the staircase serving the proposed second story, which would contain two bedrooms and two bathrooms. The project also includes relocation of the attached two-car garage and interior modifications to the existing residence. Upon completion, the residence would contain approximately 2,218 square feet. Vehicle access from Hillview Avenue would be maintained, and the existing driveway would be replaced with pavers. The existing junior accessory dwelling unit shown on the plans is not included in this Design Review application.

The site contains seven existing trees identified on the landscape plan, all of which would be retained. No new landscaping, walls, or fences are proposed.

ANALYSIS

Design Review

The proposed additions comply with the R1-10 district development standards found in Los Altos Municipal Code (LAMC) Chapter 14.06, as demonstrated by the following table:

	Existing	Proposed	Allowed/Required
COVERAGE	1,952 square feet	2,184.9 square feet	2,190 square feet
FLOOR AREA			
First Floor	1,616.6 square feet	1,849.5 square feet	
Second Floor	–	623.6 square feet	
Total	1,616.6 square feet	2,473.1 square feet	2,555 square feet
SETBACKS			
Front	32 feet	25 feet	25 feet
Rear	19 feet	19 feet	25 feet
Right side (1st/2nd)	19 feet/–	11.5 feet/18.8 feet	7.25 feet/14.75 feet
Left side (1st/2nd)	3.4 feet/–	3.4 feet/32 feet	7.25 feet/14.75 feet
HEIGHT	14.4 feet	24.6 feet	27 feet

Two-story homes are permitted in the R1-10 District subject to applicable development standards, including floor area, lot coverage, setbacks, height, and daylight plane. These standards limit development and help ensure compatibility with surrounding homes, while the Single-Family Residential Design Guidelines address bulk, massing, and neighborhood character. The existing residence has a nonconforming 19-foot rear setback, where 25 feet is required, and a nonconforming 3.4-foot left side setback. LAMC Section 14.06.080.H requires an entire structure to be brought into conformance with current setback requirements when 50 percent or more of its floor area is voluntarily eliminated or replaced. The plans indicate that more than 50 percent of the existing floor area would be retained; therefore, the project is not required to bring the existing nonconforming setbacks into conformance. The proposed addition would not further reduce either setback and comply with the current development standards.

The subject property is located within a Diverse Character Neighborhood containing one- and two-story residences with varied architectural styles, roof forms, building sizes, setbacks, and landscaping patterns. The Single-Family Residential Design Guidelines state that compatibility within a diverse neighborhood is achieved through design integrity, scale, massing, materials, landscaping, and the relationship of a residence to its site and surrounding properties. The project retains the established architectural character of the existing residence while integrating the first- and second-story additions into a cohesive design.

The second-story addition is integrated into the residence through nested gable roof forms and lower one-story elements along the front, side, and rear elevations. The proposed 24.6-foot height, varied rooflines, and changes in wall plane reduce the perceived scale of the second story. The front-facing garage remains subordinate to the principal roof forms, while the upper floor is set back from portions of the first-floor façade to maintain a human-scaled relationship to the street.

The exterior materials are coordinated with the existing residence and include light gray fiber-cement wall shingles, white trim and fascia, aluminum-clad windows with a wineberry exterior finish, gray composition roof shingles, and stone veneer at the chimney. These materials reinforce the residence's Craftsman-inspired character and provide consistent colors and detailing that unify the existing structure and additions. The gable ends, window groupings, roof overhangs, and material transitions provide depth and articulation and avoid large blank wall surfaces.

Privacy impacts are reduced by the placement and design of the second-story windows and the substantial side setbacks. No second-story windows are proposed along the left elevation, and the second-story windows along the right elevation would have five-foot sill heights. The second story would be set back approximately 18.8 feet from the right-side property line and 32 feet from the left side property line, exceeding the required 14.75-foot setbacks. Existing fencing, trees, and landscaping provide additional screening. Staff recommend Condition No. 11, which requires supplemental screening along unscreened portions of the side and rear property lines to further limit views from the rear-facing second-story windows.

The landscape plan retains all seven existing on-site trees and the existing front and perimeter landscaping. Although no new landscaping is proposed, the retained trees and vegetation preserve the established landscaped character of the site and provide screening. Standard conditions of approval require tree protection measures to be installed and maintained throughout construction.

The proposed project complies with the R1-10 development standards and the Residential Design Guidelines by maintaining neighborhood compatibility, minimizing bulk, preserving existing trees, and retaining established landscaping. Therefore, staff recommend approval of the Design Review application, subject to the attached findings and conditions of approval.

ENVIRONMENTAL REVIEW

The project is categorically exempt from the California Environmental Quality Act (CEQA) under the Class 1 Categorical Exemption set forth in CEQA Guidelines Section 15301 (Existing Facilities), because it involves an addition to an existing single-family residence less than 10,000 square feet in an area with all public services. The project was evaluated for potential applicability of the exceptions to categorical exemptions in CEQA Guidelines Section 15300.2, and none apply.

PUBLIC NOTIFICATION AND COMMUNITY OUTREACH

A public meeting notice was mailed to property owners within a 300-foot radius and published in the newspaper. The applicant also posted the public notice sign on the property in conformance with the Planning Division posting requirements.

The project applicants conducted neighborhood outreach by mailing letters to surrounding property owners to solicit feedback on the proposed project. No letter was sent to the property across the street because it is owned by the City. No comments from the public have been received by staff as of the writing of this report.

Attachments:

1. Project Plans

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Cc: Keith Gordon, Applicant/Architect
Randal Hull and Debra McMananan, Owners

FINDINGS

SC25-0009 – 108 Hillview Avenue

With regard to the proposed project, the Zoning Administrator finds the following in accordance with Section 14.77.070 of the Municipal Code:

- A. The proposal meets the goals, policies, and objectives of the General Plan and any objective design guidelines or standards and ordinances adopted for the specific district or area because the project complies with the applicable R1-10 zoning district standards, including height, side setbacks, lot coverage, floor area, and daylight plane, and maintains the existing nonconforming rear setback without further reduction. The design is consistent with the Single-Family Residential Design Guidelines for a diverse character neighborhood through articulated massing, varied gable roof forms, coordinated exterior materials, substantial second-story setbacks, and retention of existing landscaping that support neighborhood compatibility.
- B. The proposed structures have been designed to follow the natural contours of the site with minimal grading, minimal impervious cover, and maximum erosion protection because the site is relatively flat, the finished grade around the residence would generally match the existing natural grade, and the project incorporates semiporous paving and an on-site grading and drainage design to manage runoff.
- C. Building mass has articulated architectural elements or features that relate to the human scale, both horizontally and vertically, and the building elevations have variation and depth and avoid large blank wall surfaces. Residential projects incorporate elements that signal habitation, such as identifiable entrances, stairs, porches, bays and balconies. The project is consistent with this finding because the additions incorporate nested gable roof forms, changes in wall plane, roof overhangs, grouped windows, and lower one-story elements that break down the building scale and reduce the perceived height, bulk, and mass of the residence.
- D. Exterior materials and finishes convey high quality, integrity, permanence, and durability, and are used effectively to define building elements and reduce the perceived appearance of height, bulk, and mass because the project uses a coordinated palette of fiber-cement wall shingles, white trim and fascia, aluminum-clad windows, composition roof shingles, and stone veneer. The consistent materials, colors, and detailing unify the existing residence and additions while providing visual depth and articulation.
- E. The design and layout of the proposed project will result in well-designed vehicle and pedestrian access, circulation, and parking because vehicle access would continue from Hillview Avenue through a semiporous paver driveway to the relocated attached two-car garage, and a defined walkway provides pedestrian access from the street to the front entrance. These access areas are integrated with the existing site layout and landscaping.
- F. The general landscape design ensures visual relief, complements structures, provides an attractive environment, and is consistent with any adopted landscape program because all seven existing on-site trees and the existing front and perimeter landscaping would be retained. The existing vegetation softens the building, provides screening, and preserves the landscaped residential character of the site.
- G. Signage, when proposed or required, is designed to complement the building architecture in terms of style, materials, colors, and proportions and serves as identification of the building or business only. This finding is not applicable because no signage is proposed.

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- H. Mechanical equipment is fully screened from public view, and the screening is designed to be consistent with the building architecture in form, material, and detailing and is in full compliance with Chapter 11.14 of the Los Altos Municipal Code because the existing air-conditioning equipment is located within a side yard screened by existing fencing and landscaping. Any new or relocated equipment will be required to comply with applicable screening, setback, and noise standards.
- I. Service and trash areas are fully screened from public view or are enclosed in structures that are consistent with the building architecture in materials and detailing because residential trash and service areas can be accommodated within the garage or side and rear yard areas behind existing fencing.
- J. Street improvements identified in Chapter 11.20 of the Los Altos Municipal Code will comply because any necessary frontage improvements will be required to comply with the City of Los Altos Shoulder Paving Policy and will be subject to review and approval by the City Engineer.
- K. Off-site improvements associated with the subdivision of land allowed by Title 13 of the Los Altos Municipal Code and the Subdivision Map Act are not applicable because no subdivision of land is proposed.
- L. The approval of the project is categorically exempt from the California Environmental Quality Act (CEQA) under the Class 1 Categorical Exemption set forth in CEQA Guidelines Section 15301 (Existing Facilities), because it involves an addition to an existing single-family residence less than 10,000 square feet in an area with all public services, and none of the exceptions in CEQA Guidelines Section 15300.2 apply.

CONDITIONS OF APPROVAL

SC25-0009 – 108 Hillview Avenue

PLANNING DIVISION

1. **Expiration:** The Design Review approval will expire on August 5, 2028, unless, prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to the procedures and timeline for extensions in the Zoning Code.
2. **Approved Plans:** The approval is based on the plans and materials revised through June 3, 2026, and the arborist review letter dated October 10, 2025, except as modified by these conditions.
3. **Revisions to the Approved Project:** Minor revisions to the approved plans that are found to be in substantial compliance with the approval may be approved by the Development Services Director.
4. **Indemnity and Hold Harmless:** The applicant/owner agree to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court challenging any of the City's actions with respect to the applicant's project. The City may withhold permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.
5. **Notice of Right to Protest:** The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d)(1), these conditions constitute written notice of a statement of the amount of such fees and a description of the dedications, reservations, and other exactions. The 90-day period in which the applicant may protest these fees, dedications, reservations, and other exactions pursuant to Government Code Section 66020(a) begins on the date of approval of this project. Failure to file a protest within this 90-day period in compliance with all requirements of Section 66020 will legally bar a later challenge to such exactions.
6. **Nonconforming Setbacks:** The approved project has existing non-conforming setback(s). Modifications to the structure or site with the building permit plans and/or in the field during construction may affect this nonconformity and shall be submitted as a revision to the Planning Division prior to any changes.
7. **Existing JADU Not Reviewed:** The existing junior accessory dwelling unit shown in the plan set is not part of this Design Review application. Any work to the junior accessory dwelling unit shall require separate review and permits as applicable.
8. **Protected Trees:** All seven trees identified on Sheet L1.01 shall be protected under this application and cannot be removed without a Tree Removal Permit from the Development Services Director.

9. **Tree Protection Fencing:** The grading and tree or landscape plan submitted with the building permit application shall show the required tree protection fencing, which shall be installed around the driplines, or as required by the project arborist, of Trees Nos. 1, 6 and 7. Verification that the fencing has been installed shall be submitted to the City prior to building permit issuance. Tree protection fencing shall consist of chain link fencing at least five feet in height with posts driven into the ground and shall not be removed until all construction has been completed unless otherwise approved by the Planning Division.
10. **Landscaping:** The project shall be subject to the City's Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code if 2,500 square feet or more of new or replaced landscape area, including irrigated planting areas, turf areas, and water features is proposed. Any project with an aggregate landscape area of 2,500 square feet or less may conform to the prescriptive measures contained in Appendix D of the City's Model Water Efficient Landscape Ordinance.
11. **Landscape Screening:** Revise the landscape plan to show evergreen screening along the side and rear property lines to fill unscreened portions of the property lines and screen views from the rear-facing second-story windows.
12. **Lighting Plan:** A detailed lighting plan shall be included in building permit drawings demonstrating compliance with Chapter 14.91 (Lighting Performance Standards) of the Los Altos Municipal Code. This plan should include photometric contours, footcandle readings, manufacturer's specifications on the fixtures, and mounting heights. The design and location of outdoor lighting fixtures shall ensure there will be no light spillover to surrounding properties, which is demonstrated with photometric contours and footcandle readings that extend beyond the project property lines. The lighting plan submitted with building permit drawings must be approved by the Development Services Director or their designee prior to building permit issuance.
13. **Mechanical Equipment:** Prior to issuance of a building permit, the applicant shall show the location of any mechanical equipment which complies with the requirements of Chapter 11.14 (Mechanical Equipment) and Chapter 6.16 (Noise Control) of the Los Altos City Code.

BUILDING DIVISION

14. **Building Permit:** A building permit is required for the project and building design plans shall comply with the latest applicable adopted standards. The applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.
15. **Conditions of Approval:** Incorporate the conditions of approval into the building permit submittal plans and provide a letter which explains how each condition of approval has been satisfied and/or which sheet of the plans the information can be found.
16. **School Fee Payment:** In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. Payments shall be made directly to the school districts.

17. **Payment of Impact and Development Fees:** The applicant shall pay all applicable development and impact fees in accordance with State Law and the City of Los Altos current adopted fee schedule. All impact fees not paid prior to building permit issuance shall be required to provide a bond equal to the required amount prior to issuance of the building permit.
18. **Underground Utility and Fire Sprinkler Requirements:** New construction and additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.38 of the Municipal Code.
19. **California Water Service Upgrades:** The applicant is responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.
20. **Green Building Standards:** Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.
21. **Green Building Verification:** Prior to final inspection, submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).
22. **Underground Utility Location:** Show the location of underground utilities pursuant to Chapter 12.38 of the Municipal Code. Underground utility trenches shall avoid the driplines of all protected trees unless approved by the project arborist and the Planning Division.
23. **Work Hours/Construction Site Signage:** No work shall commence on the job site prior to 7:00 a.m. nor continue later than 5:30 p.m., Monday through Friday, from 9 a.m. to 3 p.m. Saturday, and no work is permitted on Sunday or any City observed holiday. The general contractor, applicant, developer, or property owner shall erect a sign at all construction site entrances/exits to advise subcontractors and material suppliers of the working hours and contact information, including an after-hours contact.

PUBLIC WORKS DEPARTMENT

24. **Encroachment Permit:** An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.
25. **Americans with Disabilities Act:** All improvements shall comply with the Americans with Disabilities Act (ADA). The most current Caltrans ADA requirements shall apply to all improvements within the public right-of-way and shall be shown on the building permit plans.

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26. **Public Utilities:** The applicant shall contact electric, gas, communication, and water utility companies regarding the installation of new utility services to the site.
27. **Sewer Lateral:** Any proposed sewer lateral connection shall be approved by the City Engineer. Only one sewer lateral per lot shall be installed. All existing unused sewer laterals shall be abandoned according to the City Standards, cut and cap 12" away from the main.
28. **Transportation Permit:** A Transportation Permit, per the requirements specified in California Vehicle Code Division 15, is required before any large equipment, materials or soil is transported or hauled to or from the construction site. The applicant shall pay the applicable fees before the transportation permit can be issued by the City Engineer.
29. **Grading and Drainage Plan:** The applicant shall submit detailed plans for on-site and off-site grading and drainage plans that include drain swales, drain inlets, rough pad elevations, building envelopes, and grading elevations for review and approval by the City Engineer prior to the issuance of the building permit.
30. **Storm Water Management Plan:** The applicant shall submit a Storm Water Management Plan (SWMP) in compliance with the San Francisco Bay Region Municipal Regional Stormwater (MRP) *National Pollutant Discharge Elimination System (NPDES)* Permit No. CA S612008, Order R2-2022-0018, Provision C.3 dated May 11, 2022. All large single-family home projects that create and/or replace 10,000 sq. ft. or more of impervious surface on the project site and affected portions of the public right-of-way that are developed or redeveloped as part of the project must also complete a C.3. Data Form available on the City's Building Division website.
31. **Storm Water Filtration Systems:** Prior to the issuance of the building permit the applicant shall ensure the design of all storm water filtration systems and devices are without standing water to avoid mosquito/insect infestation. Storm water filtration measures shall be installed separately for each lot. All storm water runoff shall be treated onsite. Discharging storm water runoff to neighboring properties or public right-of-way and connections to existing underground storm water mains shall not be allowed.

FIRE DEPARTMENT

32. **Fire Sprinklers Required:** An automatic residential fire sprinkler system shall be installed in accordance with National Fire Protection Association's (NFPA) Standard 13D in all new one and two-family dwellings and in existing dwellings, when additions are made that increase the building area to more than the allowable Fire-Flow Appendix Tables B105.1(1) and B105.1(2) of the 2022 California Fire Code, and/or additions exceeding fifty (50) percent of the existing living area (existing square foot calculations shall not include existing basement) and/or additions exceeding seven hundred fifty (750) square feet. When automatic fire sprinkler systems are required by this section, all associated garages shall be included. Additions over fifty (50) percent and/or seven hundred fifty (750) square feet as referenced above, shall be treated as a new structure regarding installation of fire sprinkler systems.

33. **Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project [CFC Ch. 33].
34. **Address identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. [CFC Sec. 505.1].
35. **Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor (2022 CFC Sec. 903.3.5 and Health and Safety Code 13114.7).

2ND STORY ADDITION TO THE LIU RESIDENCE

108 HILLVIEW AVE
LOS ALTOS, CA. 94022



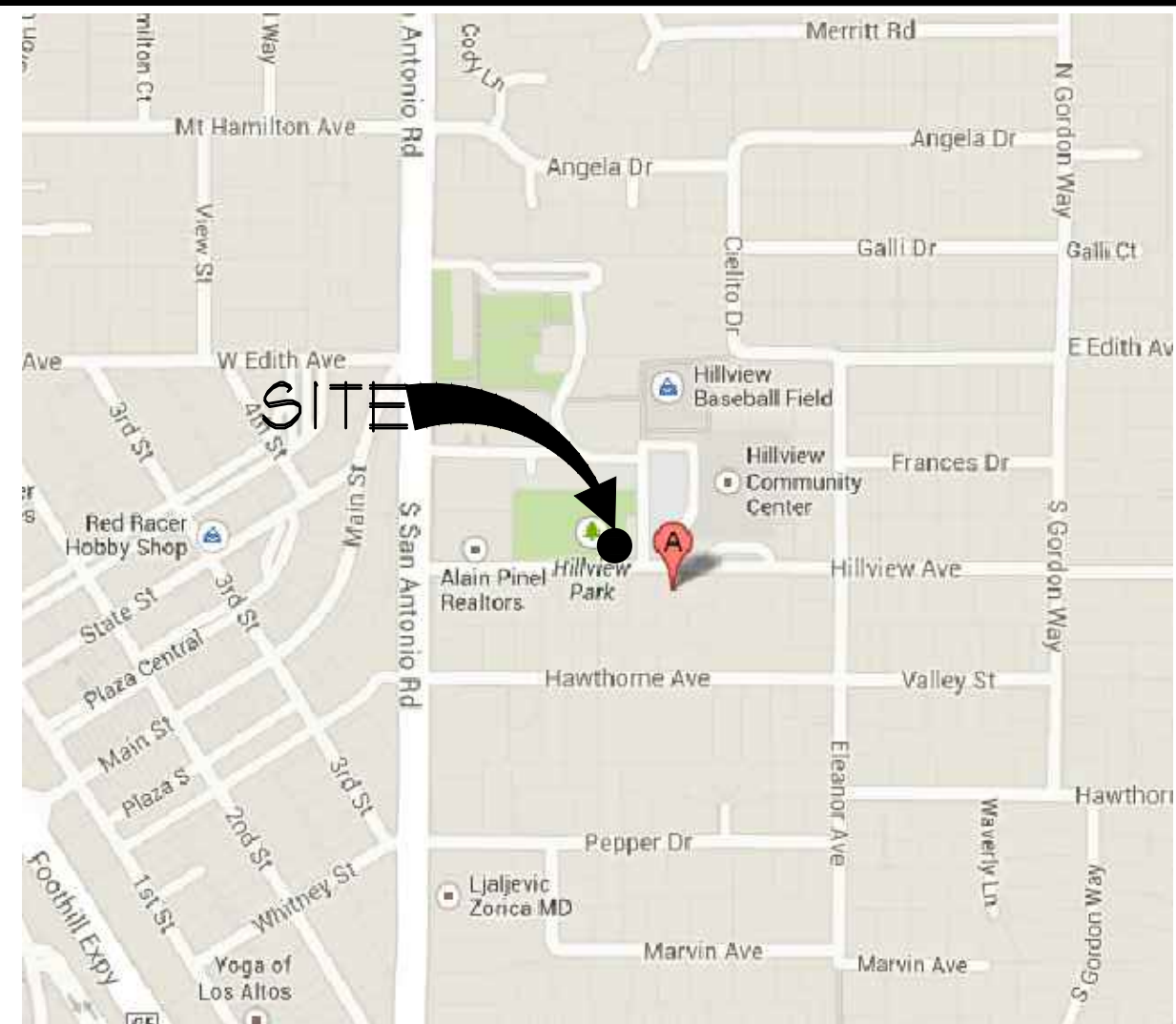
ALL FRONT TREES REMOVED FOR CLARITY

ABBREVIATIONS

ACOUS.	ACOUSTICAL	CTSK.	COUNTERSUNK	FDN.	FOUNDATION	ID.	INSIDE DIAMETER	OD.	OUTSIDE DIAMETER	SCHED.	SCHEDULE	UNO.	UNLESS NOTED OTHERWISE
AB.	ANCHOR BOLT	ONTR.	COUNTER CENTER	F.E.	FIRE EXTINGUISHER	INSUL.	INSULATION	OFF.	OFFICE	S.D.	SOAP DISPENSER	VAT.	VINYL ASBESTOS TILE
AD.	AREA DRAIN			F.E.C.	FIRE EXTING. CABINET	INT.	INTERIOR	OPP.	OPPOSITE	SECT.	SECTION	VERT.	VERTICAL
ADJ.	ADJUSTABLE	DBL.	DOUBLE	F.H.C.	FIRE HOSE CABINET	JAN.	JANITOR	FL.	PLATE	SH.	SHEET	VEST.	VESTIBULE
AGGR.	AGGREGATE	DEPT.	DEPARTMENT	FIN.(F)	FINISH	JOINT	JOINT	P.L.A.M.	PLASTIC LAMINATE	SIM.	SIMILAR		
AL.	ALUMINUM	D.F.	DRINKING FOUNTAIN	FLASH.	FLASHING	KIT.	KITCHEN	FLW.	PLYWOOD	SND.	SANITARY NAPKIN		
ANOD.	ANODIZED	DET.	DETAIL	FLASH.	FLUORESCENT	LAB.	LABORATORY	FR.	PAIR	SNR.	DISPENSER	W.	WEST
APPROX.	APPROXIMATE	DIA.	DIAMETER	FLUOR.	FACE OF CONCRETE	LAM.	LAMINATE	PSF.	POUNDS PER SQ. FOOT	SPEC.	SPECIFICATION	W/C.	WITH WATER CLOSET
ARCH.	ARCHITECTURAL	DIM.	DIMENSION	F.O.C.	FACE OF FINISH	LAV.	LAVATORY	P.S.I.	POUNDS PER SQ. INCH	SQ.	SQUARE	WD.	WOOD
ASPH.	ASPHALT	DISP.	DISPENSER	F.O.F.	FACE OF FINISH	LT.	LIGHT	PT.	POINT	STD.	STANDARD	W/H.	WATER HEATER
BD.	BOARD	DN.	DOWN	F.O.S.	FACE OF STUDS	LT. WT.	LIGHTWEIGHT	P.T.	PAPER TOWEL	STL.	STEEL	W/O.	WITHOUT
BLDG.	BUILDING	DR.	DOOR	FR.F.	FIREPROOF	MAX.	MAXIMUM	P.T.D.	PAPER TOWEL DISP.	STR.	STRUCTURAL	WP.	WATERPROOF
BLK.	BLOCK	DUR.	DRAWER	FT.	FOOT or FEET	MCH.	MACHINE BOLT	P.T.D./R.	PAPER TOWEL DISP.	SUSP.	SUSPENDED	W/ST.	WAINSCOT
BLKG.	BLOCKING	D.S.	DOWNSPOUT	FTG.	FOOTING	MCH.	MACHINE BOLT	PTN.	PARTITION	T.O.	TOP OF	WT.	WEIGHT
BM.	BEAM	DUG.	DRAINAGE	FURR.	FURRING	MEMB.	MEMBRANE	P.T.R.	PAPER TOWEL	T.B.	TOEL BAR	WWM.	WELDED WIRE MESH
BOT.	BOTTOM	E.	EAST	GA.	GALV.	MET.	METAL	RAD.	RADIUS	T.B.N.	TYP. BOUNDARY NAILING		
B.P.	BUILDING PAPER	EA.	EACH	GA.	GALVANIZED	MFR.	MANUFACTURER	REF.	REFRIGERATOR	T.B.S.	TO BE SELECTED		
CAB.	CABINET	EJ.	EXPANSION JOINT	GL.	GALVANIZED IRON	MIN.	MINIMUM	R.D.	ROUGH OPENING	T.C.	TOP OF CURB		
C.B.	CATCH BASIN	EL.	ELEVATION	GB.	GRAB BAR	MIR.	MIRROR	REIN.	REINFORCED	TEL.	TELEPHONE		
CEM.	CEMENT	ELEC.	ELECTRICAL	GL.	GLASS	MISC.	MISCELLANEOUS	REQ.	REQUIRED	T.E.N.	TYP. EDGE NAILING		
CER.	CERAMIC	ELEV.	ELEVATOR	GR.	GRADE	MTD.	MOUNTED	RESIL.	RESILIENT	T.G.	TONGUE & GROOVE		
C.I.	CAST IRON	EMER.	EMERGENCY	GR.	GYPSUM WALLBOARD	MUL.	MULLION	R.O.	ROUGH OPENING	T.H.	THICK		
C.J.	CONSTRUCTION JOINT	EQ.	EQUAL	G8"		N.	NORTH	R.W.L.	RAIN WATER LEADER	T.P.D.	TOILET PAPER		
CLG.	CEILING	EQFT.	EQUIPMENT			N.O.	NOT IN CONTRACT	R.O.	ROUGH OPENING	T.P.	TOP OF PAVEMENT		
CLK.	CAULKING	EQFT.	EQUIPMENT			N.O.R.	NOT IN CONTRACT	R.O.	ROUGH OPENING	T.P.	TOP OF PAVEMENT		
CLR.	CLEAR	EWG.	ELECTRIC WATER HEATER			N.O.S.	NOT TO SCALE	R.O.	ROUGH OPENING	T.P.	TOILET PAPER		
COL.	COLUMN	EXIST./E	EXISTING			N.	NORTH	R.O.	ROUGH OPENING	T.P.	TOILET PAPER		
CONC.	CONCRETE	EXPO.	EXPOSED			N.	NORTH	R.O.	ROUGH OPENING	T.P.	TOILET PAPER		
CONN.	CONNECTION	EXP.	EXPANSION			N.	NORTH	R.O.	ROUGH OPENING	T.P.	TOILET PAPER		
CONT.	CONTINUOUS	EXT.	EXTERIOR			N.	NORTH	R.O.	ROUGH OPENING	T.P.	TOILET PAPER		
CORR.	CORRIDOR	F.A.	FIRE ALARM			N.	NORTH	R.O.	ROUGH OPENING	T.P.	TOILET PAPER		
C.O.	CLEAN OUT	F.D.	FLOOR DRAIN			N.	NORTH	R.O.	ROUGH OPENING	T.P.	TOILET PAPER		

PROJECT DATA

APN	170-41-045
PROPERTY OWNER(S)	ZHIMI LIU & PU LI
PROPERTY ADDRESS	108 HILLVIEW AVE LOS ALTOS, CA. 94022
ZONING DISTRICT	RI-10
EXISTING USE	SINGLE FAMILY
(E) NUMBER OF STORIES	1
(N) NUMBER OF STORIES	2
OCCUPANCY GROUP	R-3, U-1
CONSTRUCTION TYPE	V-N
SPRINKLERS	YES (DEFERRED SUBMITTAL)
GENERAL PLAN DESIGNATION	SINGLE FAMILY, MEDIUM LOT (4 DUNET ACRE)
FLOOD HAZARD ZONE	ZONE X



Project Summary Table Template

PROJECT TEAM

ARCHITECT
KEITH GORDON ARCHITECT
P.O. BOX 2289
LOS GATOS, CA. 95031
P: (408) 348-0603
EMAIL: keithgordonarchitect@gmail.com
CONTACT: KEITH GORDON

STRUCTURAL ENGINEER
PMI DESIGN GROUP
1301 9TH STREET
LOS OSOS, CA. 93402
P: (408) 135-0091
EMAIL: pmidesigngroup@mindspring.com
CONTACT: FETE MALETIS

SURVEYOR
LEA & BRAZE ENGINEERING INC.
1011 KOLL CENTER PKY, SUITE 160
PLEASANTON, CA 94566
P: (510) 881-4086
EMAIL: XXX
CONTACT: XXX

CIVIL ENGINEER
CORNERSTONE CIVIL
2528 CHARLENE LANE
SANTA CRUZ, CA
P: (831) 346-5446
EMAIL: ryan@cornerstone-civil.com
CONTACT: RYAN HALEY

TITLE-24
ENERGY DESIGN GROUP
P: (650) 804-9063
EMAIL: energymiles@gmail.com
CONTACT: MILES HANCOCK

GENERAL CONTRACTOR
T.B.D.

ZONING COMPLIANCE			
	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	<u>1952</u> square feet (<u>26.1</u> %)	<u>2184.9</u> square feet (<u>30</u> %)	<u>2555</u> square feet (<u>35</u> %)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr: <u>1616.6</u> sq ft 2nd Flr: <u>0</u> sq ft Total: 1616.6 sq ft (<u>22</u> %)	1st Flr: <u>1193.5</u> sq ft 2nd Flr: <u>623.6</u> sq ft Total: 2413.1 sq ft (<u>33.9</u> %)	<u>2555</u> square feet (<u>35</u> %)
SETBACKS: Front Rear Right side (1st/2nd) Left side (1st/2nd)	<u>32</u> feet <u>19</u> feet <u>19</u> feet/ <u>N/A</u> feet <u>34</u> feet/ <u>N/A</u> feet	<u>25</u> feet <u>19</u> feet <u>115</u> feet/ <u>10.8</u> feet <u>34</u> feet/ <u>32</u> feet	<u>25</u> feet <u>25</u> feet <u>125</u> feet/ <u>15</u> feet <u>125</u> feet/ <u>15</u> feet
HEIGHT:	<u>14.4</u> feet	<u>24.6</u> feet	<u>21</u> feet
SQUARE FOOTAGE BREAKDOWN			
	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	<u>892.9</u> square feet	<u>850.3</u> square feet	<u>1,743.2</u> square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	<u>123.1</u> square feet	<u>6.2</u> square feet	<u>129.3</u> square feet
LOT CALCULATIONS			
NET LOT AREA:	<u>1300</u> square feet		
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	<u>450</u> square feet (<u>25</u> %)		
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): <u>2890</u> sq ft Existing softscape (undisturbed) area: <u>4410</u> sq ft New softscape (new or replaced landscaping) area: <u>0</u> sq ft <i>Sum of all three should equal the site's net lot area</i>		

NOTES:
1. JADU EXEMPT FROM DESIGN DEVELOPMENT STANDARDS PER GOV'T CODE 650522
2. TOTAL HARDSCAPE AREA INCLUDES FOOTPRINT OF ALL STRUCTURES
3. RESIDENCE FOOTPRINT HAS BEEN INCREASED AND SOFTSCAPE AREA HAS BEEN REDUCED

GENERAL NOTES

- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL GOVERNING CODES, ORDINANCES AND REGULATIONS.
- DO NOT SCALE DRAWINGS.
- ANY DISCREPANCIES IN THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- VERIFY ALL DIMENSIONS ON SITE PRIOR TO ORDERING OR MANUFACTURING ITEMS.
- GENERAL CONTRACTOR SHALL REVIEW ALL DRAWINGS BEFORE FRAMING.

SCOPE OF WORK

- RELOCATE (E) 2 CAR GARAGE.
- REAR KITCHEN ADDITION & MINOR (STAIRCASE) ADDITION TO THE FRONT.
- (N) 2ND FLOOR BEDROOM AND BATHROOM ADDITION
- SOME MINOR INTERIOR RECONFIGURATIONS

APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE	2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ELECTRICAL CODE	2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA MECHANICAL CODE	2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA RESIDENTIAL CODE (CRC)	2022 CALGREEN CODE

REVISION	DATE
1	PLANNING COMMENTS 01/30/25
2	PLANNING COMMENTS 01/06/16
3	PLANNING COMMENTS 03/31/26

KEITH GORDON
ARCHITECT

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(408) 348-0603

SHEET NOTES

DRAWING INDEX

A0.01	COVER SHEET & PROJECT DATA
A0.02	NOT USED
A0.03	FLOOR AREA & LOT COVERAGE DIAG
SUI	TOPOGRAPHIC SURVEY
CIVIL	
C-1	GRADING, DRAINAGE, EROSION CONTROL AND TREE PROTECTION PLAN DETAILS
C-2	
ARCHITECTURAL	
A1.01	(E) & (N) SITE PLANS
A2.01	(E) FLOOR PLAN
A2.02	(N) 1ST FLOOR PLAN
A2.03	(N) 2ND FLOOR PLAN
A2.04	(E) ROOF PLAN
A2.05	(N) ROOF PLAN
A4.01	BUILDING SECTIONS
A4.02	BUILDING SECTIONS
A5.01	(E) EXTERIOR ELEVATIONS
A5.02	(N) EXTERIOR ELEVATIONS
A5.03	(N) EXTERIOR ELEVATIONS
A5.04	STREETSCAPE PERSPECTIVES
A5.05	3D IMAGES & MATERIALS COLOR PLAN
L1.01	LANDSCAPE / TREE PROTECTION PLAN



THE
LIU
RESIDENCE

108 HILLVIEW AVE.
LOS ALTOS, CA 94022

COVER SHEET &
PROJECT DATA

DATE: 04/01/2025

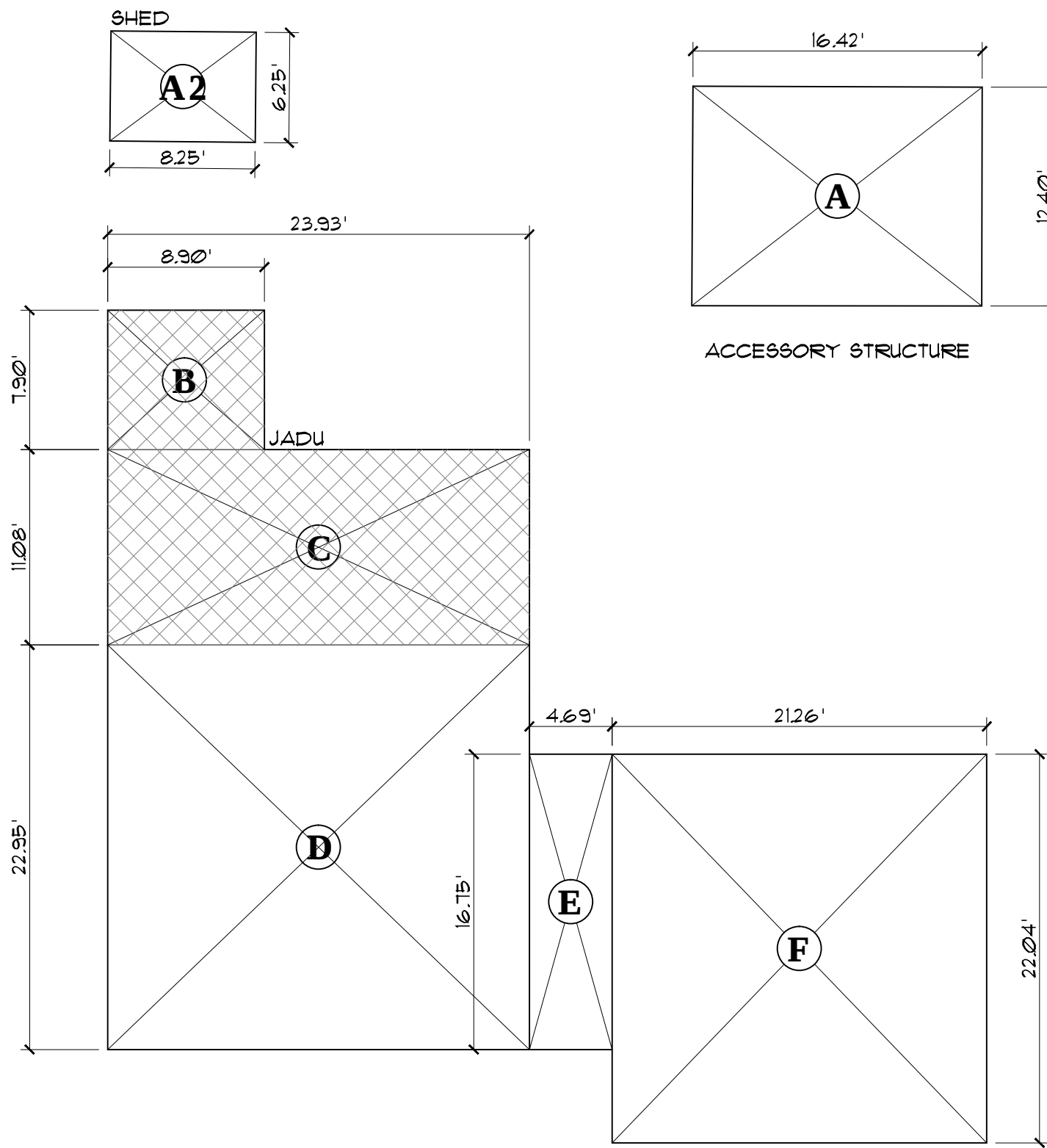
SCALE: NONE

PROJECT: LIU-240263

All drawings and written material appearing herein constitute original work of the architect and may not be duplicated, used or disclosed without written consent of the architect.

SHEET:

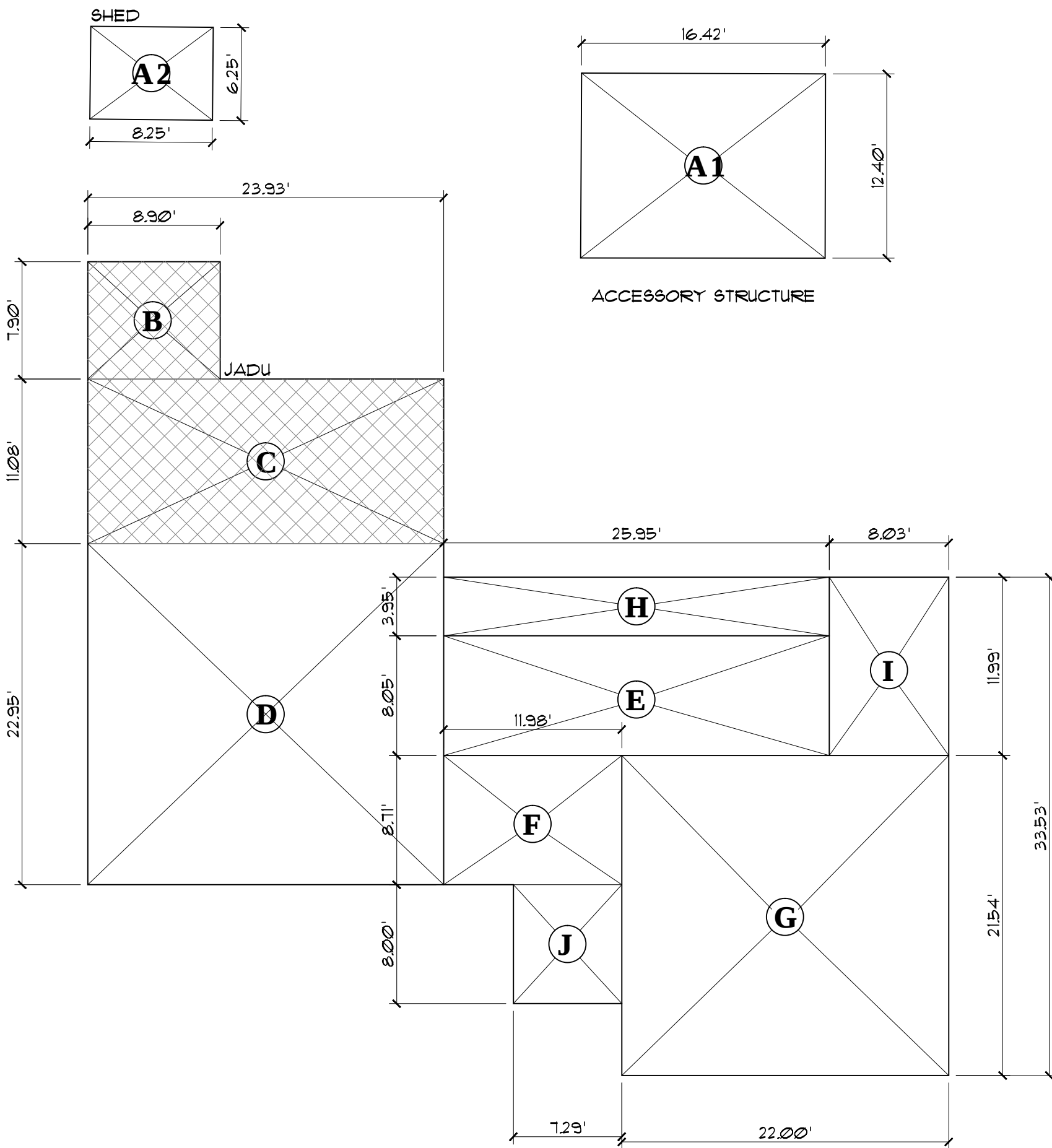
A0.01



CALLOUT	WIDTH	LENGTH	MULTIPLIER	AREA
ACCESSORY				
A1	16.42	12.40	1.0	203.61
A2	8.25	6.25	1.0	51.56
SUB				255.17
GARAGE (NON-CONDITIONED)				
F	21.26	22.04	1.0	468.57
SUB				468.57
JADU				
B	8.90	7.90	1.0	70.31
C	11.08	23.93	1.0	265.14
SUB				335.45
1ST FLOOR				
D	23.93	34.03	1.0	814.34
E	4.69	16.75	1.0	78.56
SUB				892.90
SUB-TOTAL ACCESSORY				255.17
SUB-TOTAL NON-CONDITIONED				468.57
SUB-TOTAL FLR CONDITIONED				892.90
TOTAL FAR				1616.64

NOTE:
1. JADU IS NOT SUBJECT TO DESIGN DEVELOPMENT STANDARDS PER GOVERNMENT CODE 65852.2

(E) FAR CALCULATIONS



CALLOUT	WIDTH	LENGTH	MULTIPLIER	AREA
ACCESSORY				
A1	16.42	12.40	1.0	203.61
A2	8.25	6.25	1.0	51.56
SUB				255.17
GARAGE (NON-CONDITIONED)				
G	22.00	21.58	1.0	474.76
SUB				474.76
JADU				
B	8.90	7.90	1.0	70.31
C	23.93	11.08	1.0	265.14
SUB				335.45
1ST FLOOR				
D	23.93	22.95	1.0	549.19
E	25.95	8.05	1.0	208.90
F	11.98	8.71	1.0	104.35
H	25.95	3.95	1.0	102.50
I	8.03	11.99	1.0	96.28
J	7.29	8.00	1.0	58.32
SUB				1119.54

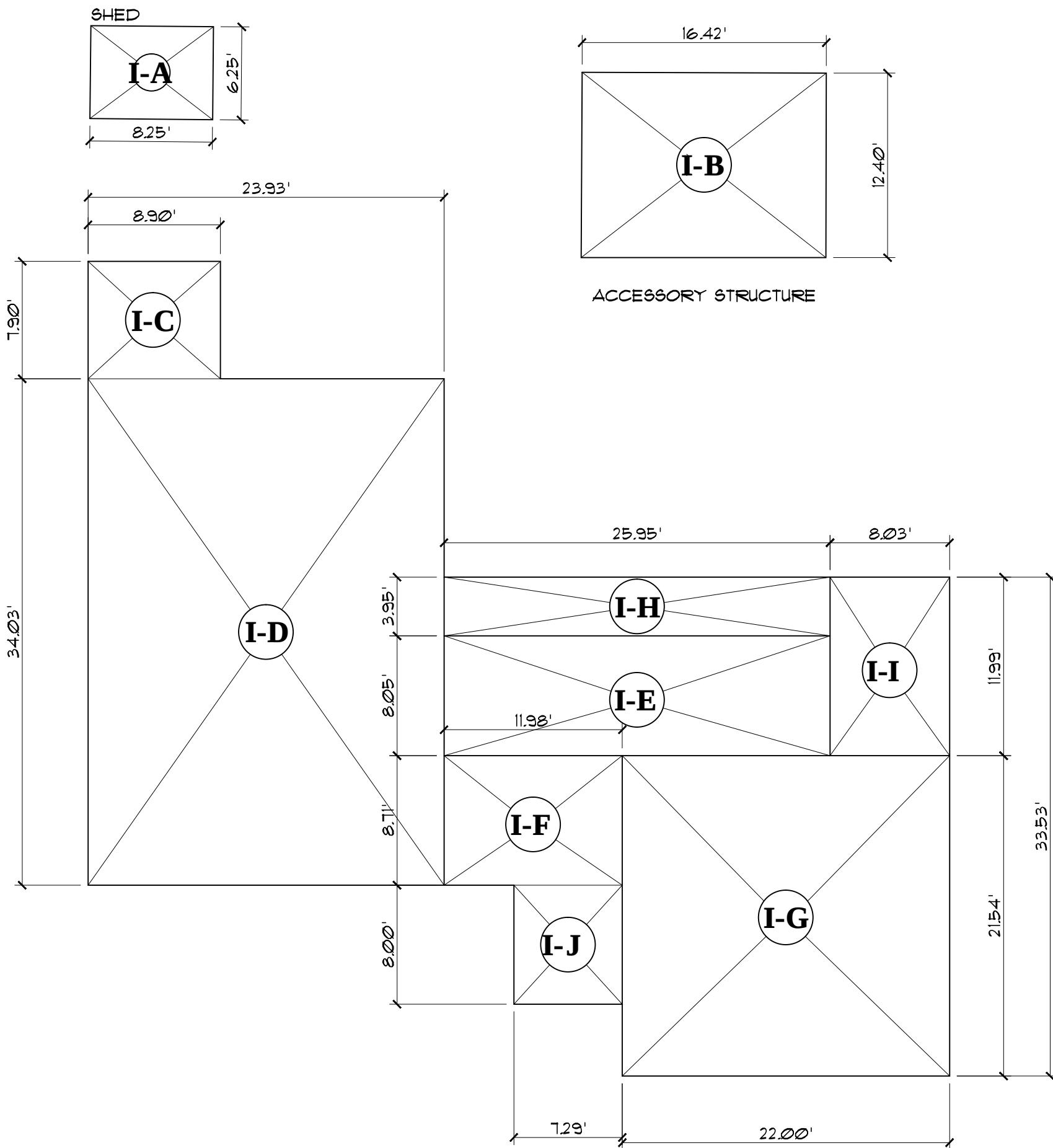
2ND FLOOR				
K	21.76	28.66	1.0	623.64
SUB				623.64
SUB-TOTAL ACCESSORY				255.17
SUB-TOTAL NON-CONDITIONED				474.76
SUB-TOTAL 1ST FLR CONDITIONED				1119.54
SUB-TOTAL 2ND FLR CONDITIONED				623.64
TOTAL FAR				2473.11

NOTE:
1. JADU IS NOT SUBJECT TO DESIGN DEVELOPMENT STANDARDS PER GOVERNMENT CODE 65852.2

(N) FAR CALCULATIONS

(E) FAR DIAGRAM
1/8"=1'-0"

(N) FAR DIAGRAM
1/8"=1'-0"



CALLOUT	WIDTH	LENGTH	MULTIPLIER	AREA
ACCESSORY				
I-A	8.25	6.25	1.0	51.56
I-B	16.42	12.40	1.0	203.61
SUB				255.17
GARAGE				
I-G	22.00	21.58	1.0	474.76
SUB				474.76
1ST FLOOR				
I-C	8.90	7.90	1.0	70.31
I-D	23.93	34.03	1.0	814.34
I-E	25.95	8.05	1.0	208.90
I-F	11.98	8.71	1.0	104.35
I-H	25.95	3.95	1.0	102.50
I-I	8.03	11.99	1.0	96.28
I-J	7.29	8.00	1.0	58.32
SUB				1454.99

SUB-TOTAL ACCESSORY				255.17
GARAGE				474.76
SUB-TOTAL 1ST FLR				1454.99
TOTAL FAR				2184.92

SITE COVERAGE CALCULATIONS

SITE COVERAGE DIAGRAM
1/8"=1'-0"

REVISION	DATE
1 PLANNING COMMENTS	07/30/25
2 PLANNING COMMENTS	07/06/26
3 PLANNING COMMENTS	03/31/26

KEITH GORDON
ARCHITECT

P.O. BOX 2283
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(408) 348-0603

SHEET NOTES



THE
LIU
RESIDENCE
108 HILLVIEW AVE.
LOS ALTOS, CA 94022

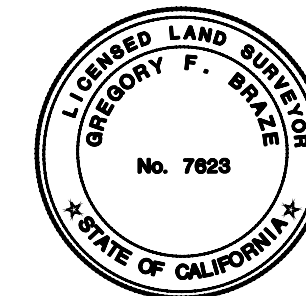
FLOOR AREA
DIAGRAM

DATE:	04/01/2025
SCALE:	NONE
PROJECT:	LIU-240263

All drawings and written material appearing herein constitute original work of the architect and may not be duplicated, used or disclosed without written consent of the architect.

SHEET:

A0.03



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
ROSEVILLE
CLACKAMAS
SAN LUIS OBISPO
MAIN OFFICE:
2495 INDUSTRIAL PARK WEST
HAYWARD, CALIFORNIA 94545
(510) 887-4066
WWW.LEABRAZE.COM

APN: 170-41-045

108 HILLVIEW AVENUE
LOS ALTOS
CALIFORNIA

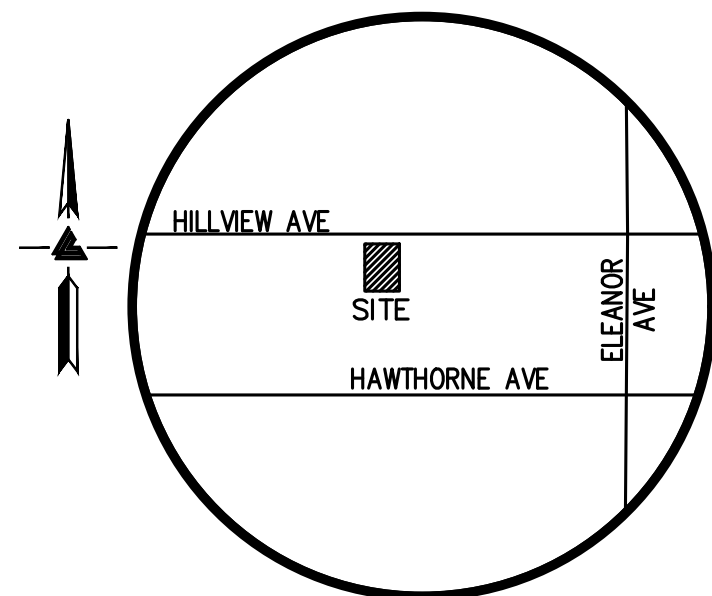
SANTA CLARA COUNTY

TOPOGRAPHIC SURVEY

NEIGHBORING BLDGS 6-16-25	DB
REVISIONS	BY
JOB NO:	2241073
DATE:	7-10-24
SCALE:	1"=10'
BNDY BY:	MT
FIELD BY:	MS
DRAWN BY:	JP
SHEET NO:	

SU1

1 OF 1 SHEETS



VICINITY MAP
NO SCALE

- LEGEND AND NOTES**
- BOUNDARY LINE
 - ETC ELECTRICAL/TELEPHONE/
CABLE TV OVERHEAD LINE
 - x- FENCE LINE
 - FLOW LINE
 - SS SANITARY SEWER LINE
 - A/C AIR CONDITIONING UNIT
 - ⬢ BENCHMARK
 - ⬢ BW BOTTOM RETAINING WALL
 - ⬢ CB CATCH BASIN
 - ⬢ EM ELECTRICAL METER
 - FF FINISH FLOOR
 - ⬢ FH FIRE HYDRANT
 - FL FLOW LINE
 - HVE HIGH VOLTAGE ELECTRICAL VAULT
 - INV INVERT
 - ⬢ ICV IRRIGATION CONTROL VALVE
 - JMAP JAPANESE MAPLE
 - ⬢ JOINT POLE
 - MAG MAGNOLIA
 - M- MULTI-TRUNK TREE
 - ⬢ MB MAIL BOX
 - RWD REDWOOD
 - RP ROOF PEAK
 - SSCO SANITARY SEWER CLEAN-OUT
 - SSMH SANITARY SEWER MAINTENANCE HOLE
 - STREET SIGN
 - TC TOP OF CURB
 - TOS TOP OF SLAB
 - TW TOP OF RETAINING WALL
 - ⬢ WM WATER METER
 - ⬢ WV WATER VALVE
 - xxx.xx SPOTGRADE

- ASPHALT
- CONCRETE
- LAWN
- PAVERS
- RIVER ROCK
- STONE

LANDS OF
THAI AND SIAO

NEIGHBORING
STRUCTURE

FEMA FLOOD NOTE

FLOOD ZONE: X(SHADED)
AREAS OF 1% ANNUAL CHANCE OF
FLOOD WITH DEPTHS OF LESS
THAN 1 FOOT OR DRAINAGE AREAS
LESS A THAN 1 MILE.

FLOOD INSURANCE RATE MAP
No.: 06085C0038H
EFFECTIVE DATE: MAY 18, 2009

EASEMENT NOTE

NO EASEMENTS ARE LISTED IN TITLE REPORT
ISSUED BY OLD REPUBLIC TITLE COMPANY,
ORDER NO. 0623018993-EJ,
DATED FEBRUARY 2, 2024.

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND
LOCATION SHOWN ON THIS SURVEY ARE BASED
ON VISUAL OBSERVATION. ANY USE OF THIS
INFORMATION SHOULD BE VERIFIED, BEFORE ITS
USE, WITH THE CONTROLLING MUNICIPALITY OR
UTILITY PROVIDER. THIS SURVEY MAKES NO
GUARANTEE OF THE INSTALLED ACTUAL
LOCATION, DEPTHS OR SIZE.

TREE NOTE

TREE SIZE, TYPE AND DRIPLINES ARE
BASED ON A VISUAL OBSERVATION.
FINAL DETERMINATION SHOULD BE
MADE BY THE PROJECT ARBORIST.

NOTES

ALL DISTANCES AND DIMENSIONS ARE
IN FEET AND DECIMALS.

BUILDING FOOTPRINTS ARE SHOWN TO
FINISHED MATERIAL (STUCCO/SIDING)
AT GROUND LEVEL.

FINISH FLOOR ELEVATIONS ARE TAKEN
AT DOOR THRESHOLD (EXTERIOR).

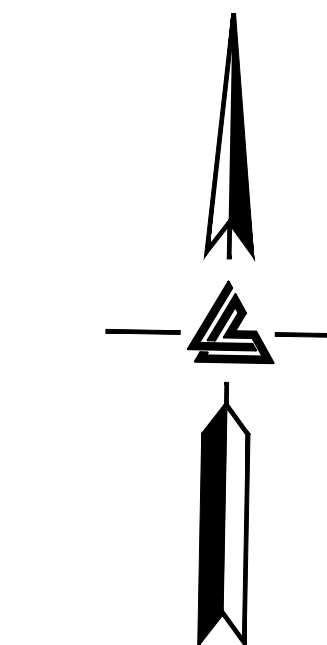
THE AREA OF THE SURVEYED LOT IS
7,300± SQUARE FEET / 0.167± ACRES

BENCHMARK

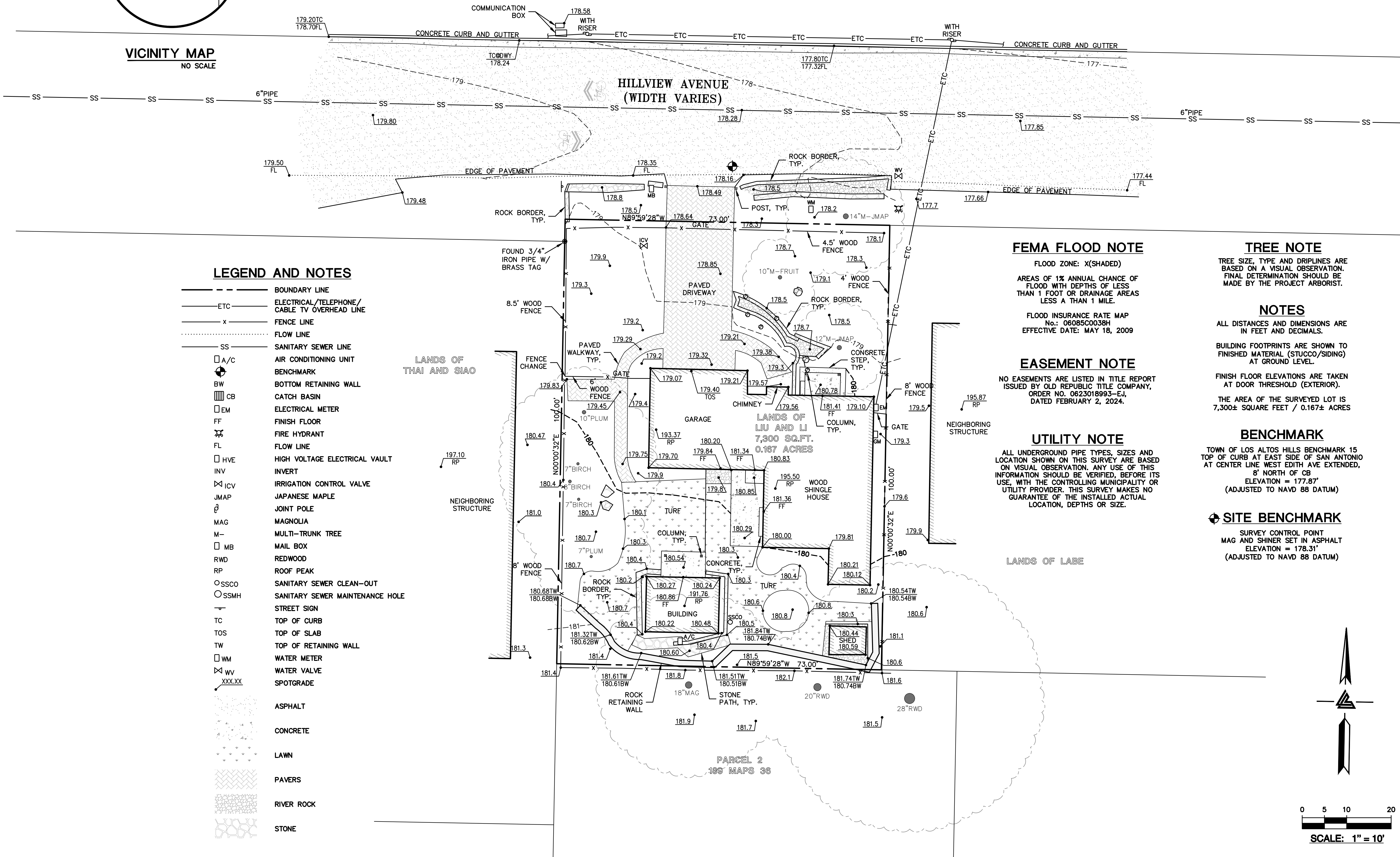
TOWN OF LOS ALTOS HILLS BENCHMARK 15
TOP OF CURB AT EAST SIDE OF SAN ANTONIO
AT CENTER LINE WEST EDITH AVE EXTENDED,
8' NORTH OF CB
ELEVATION = 177.87'
(ADJUSTED TO NAVD 88 DATUM)

SITE BENCHMARK

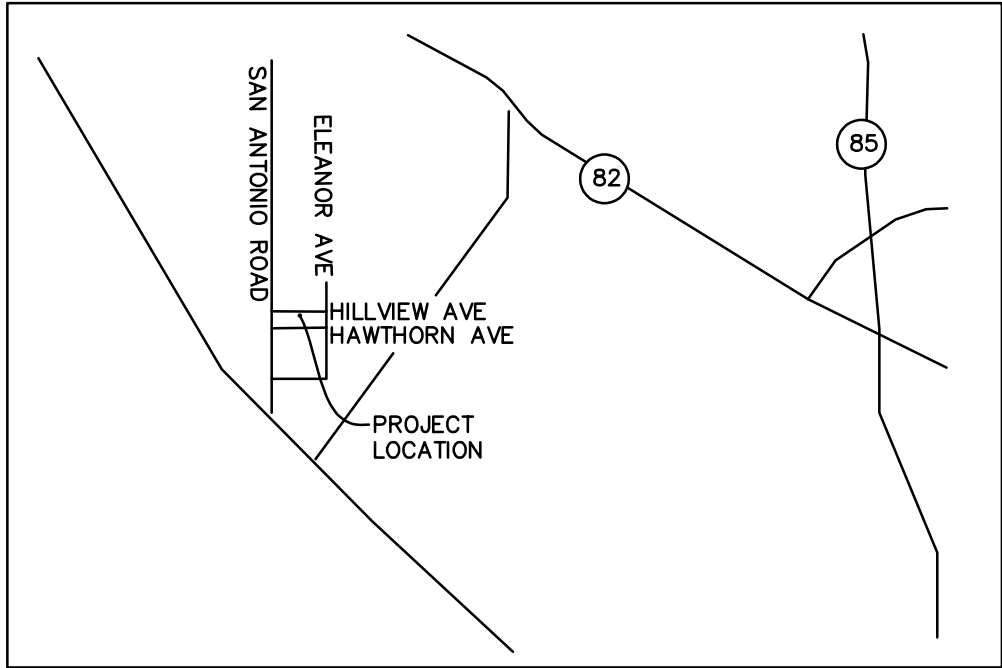
SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 178.31'
(ADJUSTED TO NAVD 88 DATUM)



0 5 10 20
SCALE: 1" = 10'



PARCEL 2
189 MAPS 36



VICINITY MAP
NOT TO SCALE

LEGEND

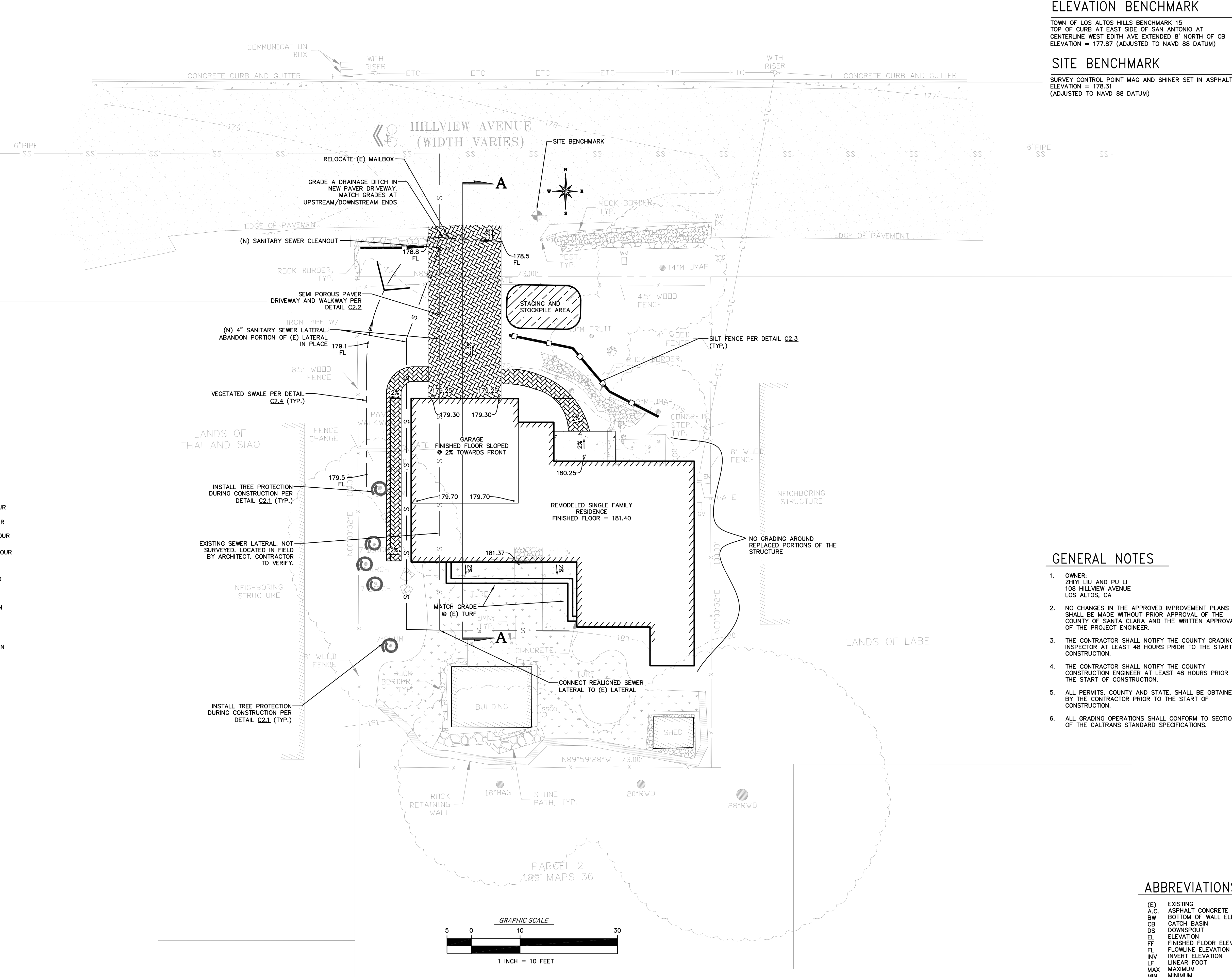
	PROPOSED BUILDING
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED PAVER PATIO
	PROPOSED STORM DRAIN
	PROPOSED V05 INLET
	PROPOSED CATCH BASIN
	SILT FENCE
	STOCKPILE AND STAGING AREA
	PROPOSED SPOT GRADE ELEVATION

NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT ON RECORD OR NOT SHOWN ON THESE DRAWINGS. PRIOR TO EXCAVATION, THE CONTRACTOR SHALL CALL U.S.A. DIG ALERT TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES. 1(800)624-1444

DISCLAIMER

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ELEVATION BENCHMARK

TOWN OF LOS ALTOS HILLS BENCHMARK 15
TOP OF CURB AT EAST SIDE OF SAN ANTONIO AT
CENTERLINE WEST EDITH AVE EXTENDED 8' NORTH OF CB
ELEVATION = 177.87 (ADJUSTED TO NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT MAG AND SHINER SET IN ASPHALT
ELEVATION = 178.31
(ADJUSTED TO NAVD 88 DATUM)

GENERAL NOTES

- OWNER:
ZHIYI LIU AND PU LI
108 HILLVIEW AVENUE
LOS ALTOS, CA
- NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE COUNTY OF SANTA CLARA AND THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE COUNTY GRADING INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE COUNTY CONSTRUCTION ENGINEER AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL PERMITS, COUNTY AND STATE, SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- ALL GRADING OPERATIONS SHALL CONFORM TO SECTION 19 OF THE CALTRANS STANDARD SPECIFICATIONS.

ABBREVIATIONS

(E)	EXISTING
A.C.	ASPHALT CONCRETE
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
DS	DOWNSPOUT
EL	ELEVATION
FF	FINISHED FLOOR ELEVATION
FL	FLOWLINE ELEVATION
INV	INVERT ELEVATION
LF	LINEAR FOOT
MAX	MAXIMUM
MIN	MINIMUM
(N)	NEW
NTS	NOT TO SCALE
PC	POINT OF CURVATURE
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENCY
PROP	PROPOSED
RET	RETAINING
TW	TOP OF WALL ELEVATION
TYP	TYPICAL

RESIDENTIAL ADDITION

ZHIYI LIU AND PU LI
108 HILLVIEW AVENUE
LOS ALTOS, CA
APN: 170-041-045

CORNERSTONE CIVIL
Land Development Engineering
2528 Charlene Lane
Santa Cruz, CA
(831) 346-5446



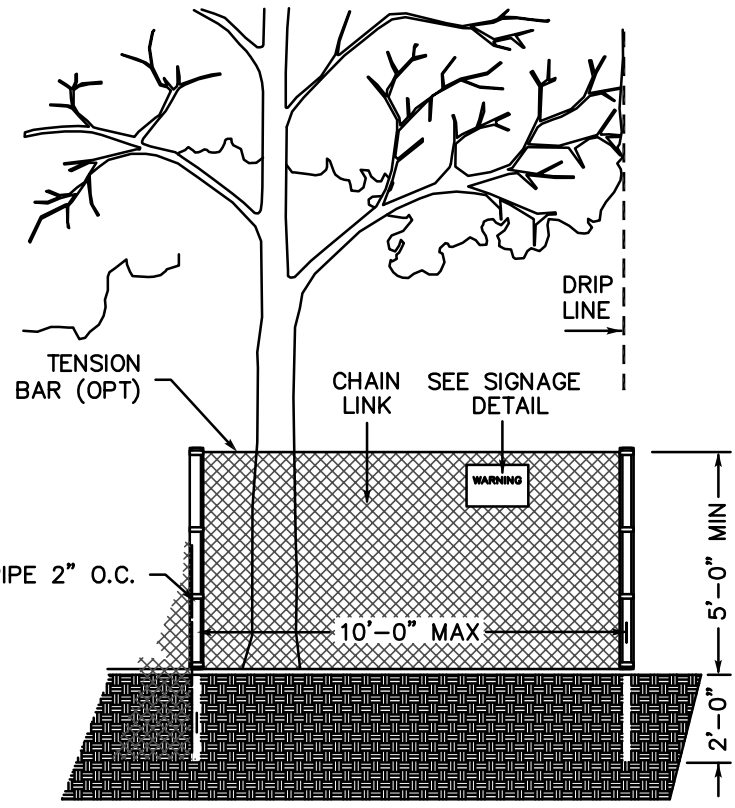
JULY 23, 2025
DATE

DRAWN BY: R. HALEY
PROJECT No.: 25.012

DATE: JUL 2025

GRADING,
DRAINAGE, EROSION
CONTROL AND TREE
PROTECTION PLAN

C-1



EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

C2.1 TREE PROTECTION

NOT TO SCALE

EROSION CONTROL MEASURES

1. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
2. UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THIS PLAN, ALL COLLECTED RUNOFF SHALL BE CARRIED TO DRAINAGE COURSES IN LINED CONDUITS. DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLANS.
3. THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FAILED INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
4. ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEEDDED WITH THE FOLLOWING SEED MIXTURE:
WINTER BARLEY 25#/ACRE
5. AFTER SEEDING, STRAW MULCH WILL BE APPLIED IN 4" (AVG.) LAYERS.
6. AMMONIUM PHOSPHATE FERTILIZER, 6-3-3, SHALL BE APPLIED AT A RATE OF 30 LBS. PER ACRE, ON SLOPES GREATER THAN 20% EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
7. SILT BARRIERS SHALL BE PLACED END TO END AND STAKED DOWN ALONG THE BOTTOM OF ALL GRADED SLOPES.
8. COVER ALL EXPOSED SLOPES
9. STRAW 2 TONS/ACRE ON SLOPES $\leq$ 20% WITH SOIL BINDER
10. USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES >20%

ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SILT FENCES, FIBER ROLLS AND SLOPE PROTECTION SHALL BE IN PLACE BY OCTOBER 15TH. THE ENGINEER OF RECORD SHALL INSPECT ONCE EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

EARTHWORK SUMMARY

ITEM	CUT (CY)	FILL (CY)
FOUNDATION	15	
PATIO/SITE WORK	12	
SUB-TOTAL	27	0
TOTAL	27 CY (EXPORT)	

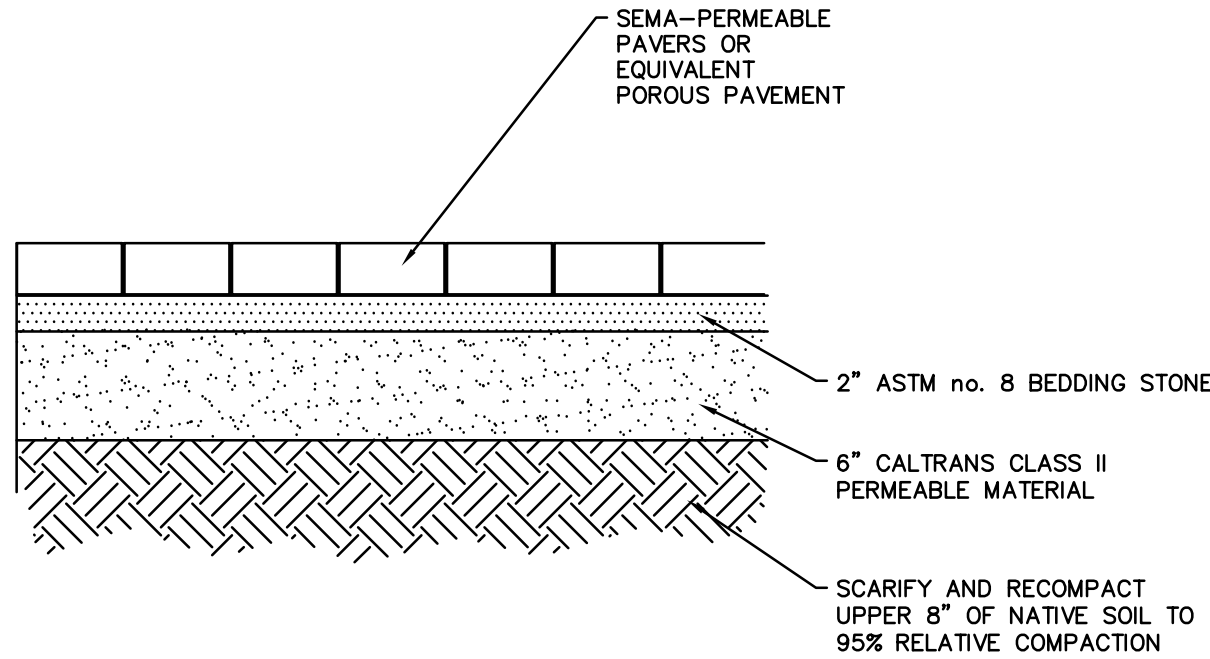
IMPERVIOUS SUMMARY

TOTAL SITE AREA = 0.17 ACRES		TOTAL SITE AREA DISTURBED = 0.12 ACRES			
SITE TOTALS	TOTAL (E) PRE PROJECT AREA (FT ²)	EXISTING AREA RETAINED (FT ²)	EXISTING REPLACED AREA (FT ²)	NEW AREA CREATED (FT ²)	TOTAL POST PROJECT AREA (FT ²)
TOTAL IMPERVIOUS AREA (IA)	2,160	3,215	1,479	457	5,151
TOTAL NEW AND REPLACED IMPERVIOUS AREA				1,936	
TOTAL PERVIOUS AREA (PA)	5,140	4,683	0	0	4,683
TOTAL AREA (IA + PA)	7,300				

PERCENT REPLACEMENT OF IA (EXISTING IA REPLACED / EXISTING TOTAL IA) * 100 = 56%

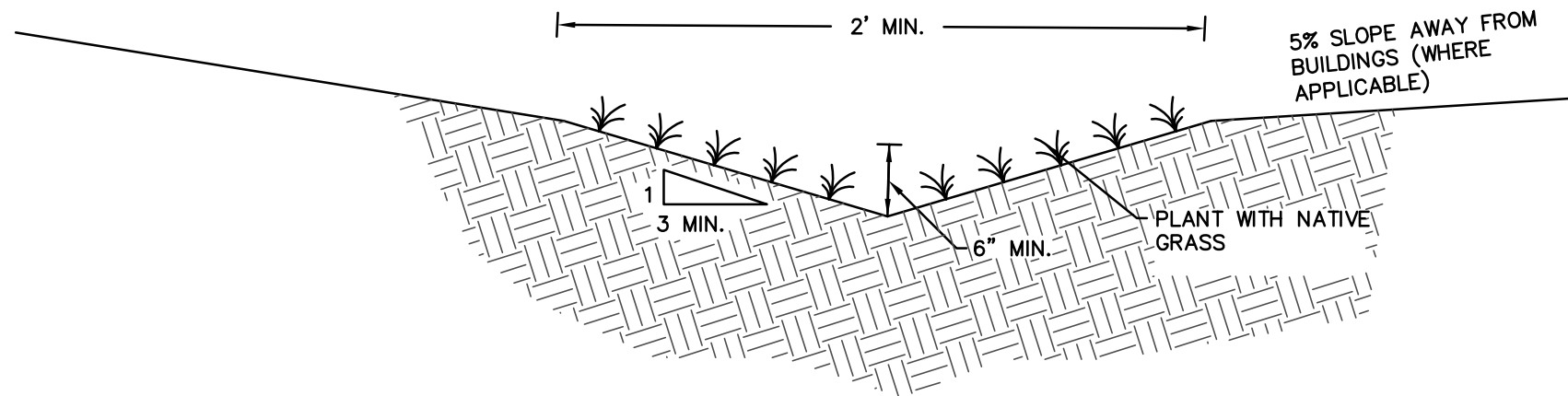
TOTAL IMPERVIOUS AREA CREATED OR REPLACED = 1,936 SF
"BASIC" STORMWATER MITIGATION REQUIREMENTS

TOTAL AREA OF DISTURBANCE = 0.12 ACRES



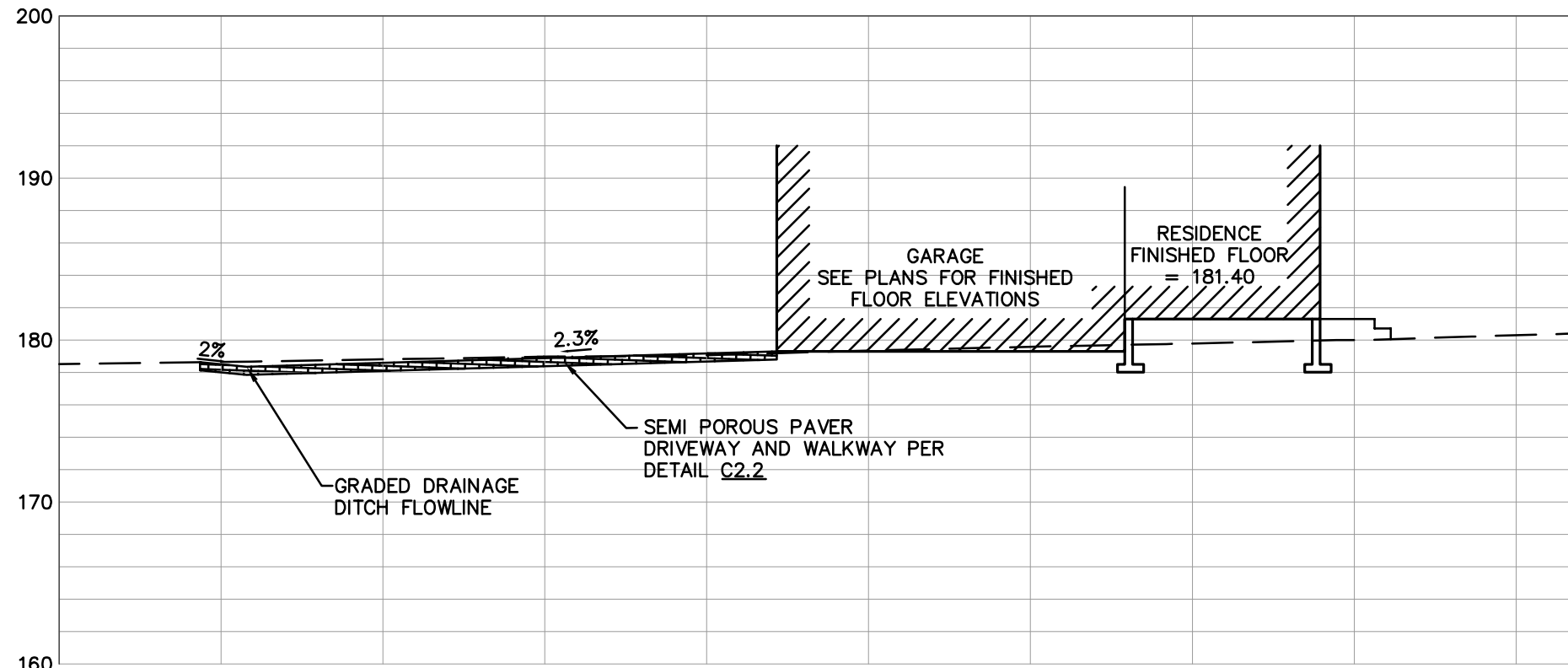
C2.2 PAVER DRIVEWAY/WALKWAY TYPICAL SECTION

NOT TO SCALE



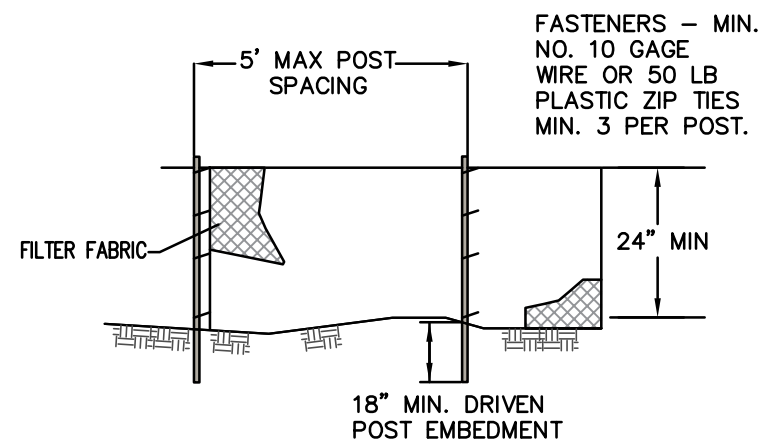
C2.4 VEGETATED SWALE

NOT TO SCALE

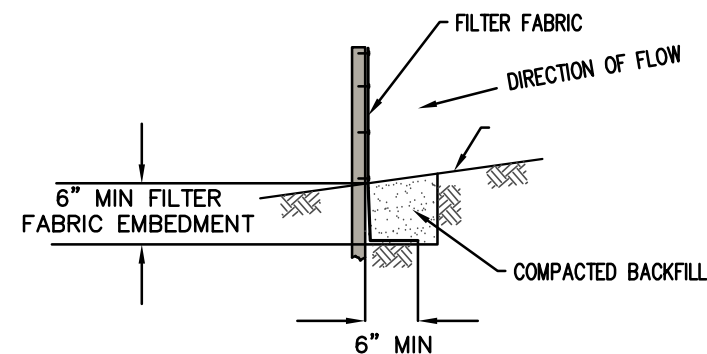


SECTION A-A

SCALE: 1" = 10'



ELEVATION



C2.3 SILT FENCE

NOT TO SCALE

SITE HOUSEKEEPING REQUIREMENTS

CONSTRUCTION MATERIALS

1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
2. ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
3. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

LANDSCAPE MATERIALS

1. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
2. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
3. DISCONTINUE THE APPLICATION OF ANY ERODABLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIOD OF PRECIPITATION.
4. APPLY ERODABLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
5. STACK ERODABLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

VEHICLE STORAGE AND MAINTENANCE

1. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACES WATERS.
2. ALL EQUIPMENT OR VEHICLES, WHICH ARE THE BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S.
3. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

WASTE MANAGEMENT

1. DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
2. SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
3. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
4. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
5. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
6. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
7. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
8. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OR PROPERLY; AND
9. CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

RESIDENTIAL ADDITION

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LOS ALTOS, CA
APN: 170-041-045

CORNERSTONE
Civil
Land Development Engineering
2528 Charlene Lane
Santa Cruz, CA
(831) 346-5446



JULY 23, 2025

DATE

DRAWN BY: R. HALEY

PROJECT No.: 25.012

DATE: JUL 2025

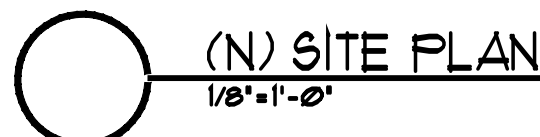
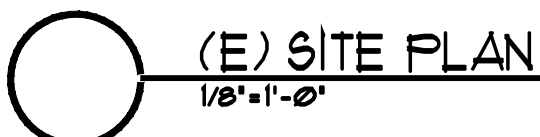
DETAILS

C-2

KEITH GORDON
ARCHITECT
P.O. BOX 2289
LOS GATOS, CA 95031
(408) 348-0603

1. BASE SURVEY DWG PROVIDED BY
LEA & BRAZE ENGINEERING, INC.

2. REFER TO CIVIL PLANS BY
CORNERSTONE CIVIL FOR GRADING,
DRAINAGE & OTHER SITE
INFORMATION



(E) & (N)
SITE PLANS

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SHEET:

A101

REVISION	DATE
1	PLANNING COMMENTS
2	PLANNING COMMENTS
3	PLANNING COMMENTS

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SHEET NOTES

DEMOLITION NOTES:

- CONTRACTOR SHALL DEMOLISH PER CBC CHAPTER 33 AND/OR PER LOCAL CODE REQUIREMENTS, DEMOLISH ONLY THOSE AREAS AFFECTED BY WORK.
- CONTRACTOR SHALL INFORM ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
- CONTRACTOR TO VERIFY W/OWNERS WHICH PLUMBING FIXTURES & APPLIANCES SHALL BE SALVAGED.
- CONTRACTOR SHALL PROVIDE PROPER SHORING OF EXISTING STRUCTURE(S) AS REQUIRED PER CBC AND/OR LOCAL CODE PRIOR TO ROOF AND WALL REMOVAL.
- CONTRACTOR SHALL VERIFY WITH PLAN(S) AND FIELD INSPECT ALL WINDOWS, DOORS AND WALLS TO BE REMOVED.
- CONTRACTOR SHALL FIELD VERIFY EXISTING ELECTRICAL, MECHANICAL AND PLUMBING PRIOR TO REMOVAL IF REQUIRED.
- ALL HAZARDOUS MATERIALS MUST BE DISPOSED OF PER LOCAL, STATE AND FEDERAL REGULATIONS.
- CONTRACTOR SHALL COVER AND PROTECT EXISTING FLOORING, WALLS, ETC. THAT ARE TO REMAIN.
- CONTRACTOR SHALL REUSE EXISTING WATER LINES AND SANITARY SEWER LINES UNDER EXISTING FLOOR IF AT ALL POSSIBLE.
- LEGALLY DISPOSE OF DEMOLISHED MATERIAL AND EQUIPMENT OFF-SITE.



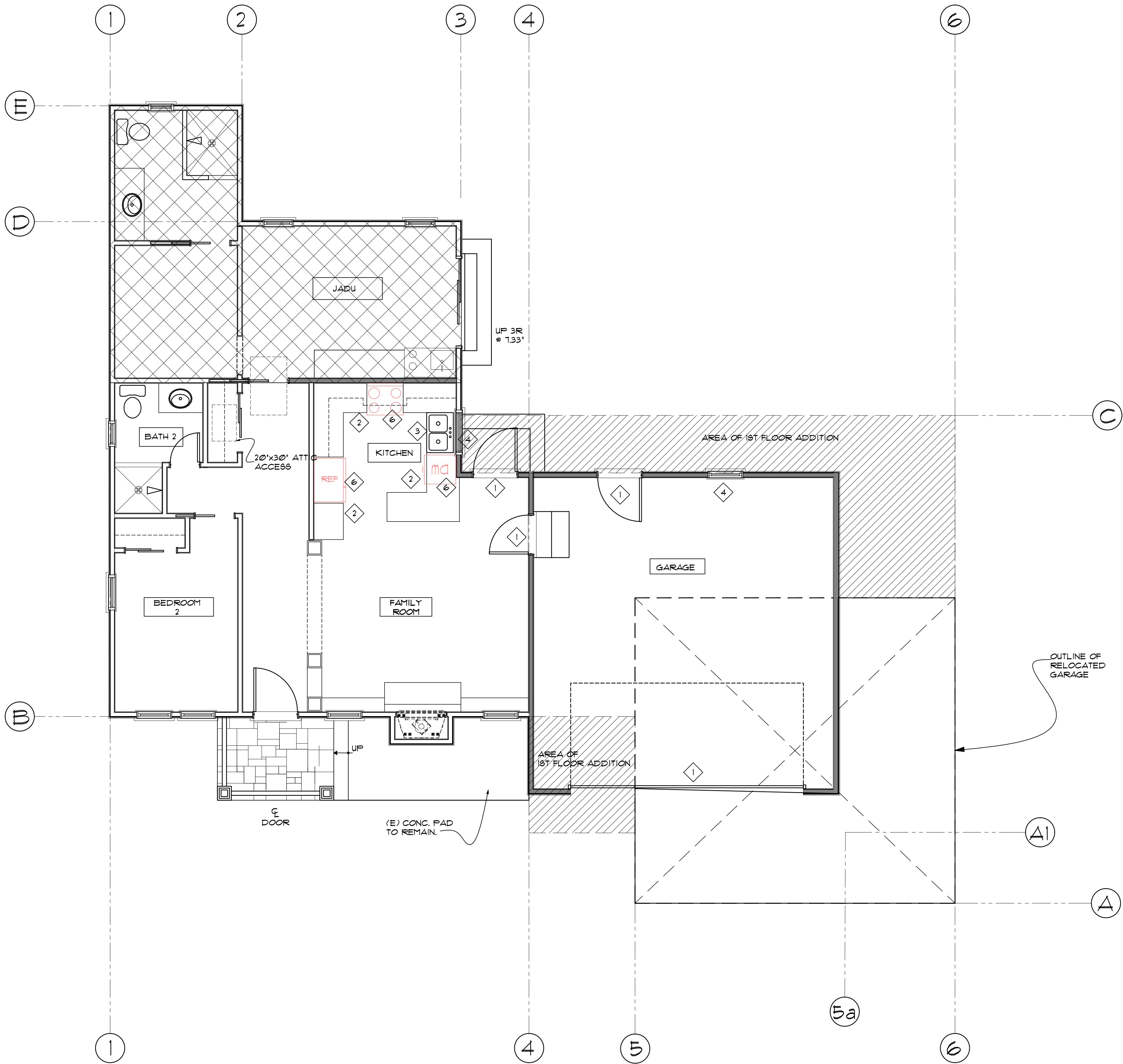
THE
LIU
RESIDENCE
108 HILLYVIEW AVE.
LOS ALTOS, CA 94022

EXISTING / DEMO FLOOR PLAN

DATE: 04/01/2025
SCALE: 1/4"=1'-0"
PROJECT: LIU-240263

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SHEET: A2.01



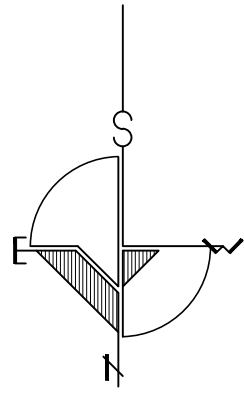
ADDITIONAL NOTES:

- DOOR TO BE REMOVED (SAVE FOR POSSIBLE REUSE)
- CABINETS TO BE REMOVED
- PLUMBING FIXTURES TO BE REMOVED
- WINDOW TO BE REMOVED
- STAIRS TO BE REMOVED
- APPLIANCES TO BE REMOVED COORDINATE W/HOMEOWNER FOR POSSIBLE RE-USE.

WALL LEGEND:

- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED
- (N) WALL

(E) FLOOR PLAN
1/4"=1'-0"



REVISION	DATE
1 PLANNING COMMENTS	01/30/25
2 PLANNING COMMENTS	02/06/26
3 PLANNING COMMENTS	03/31/26

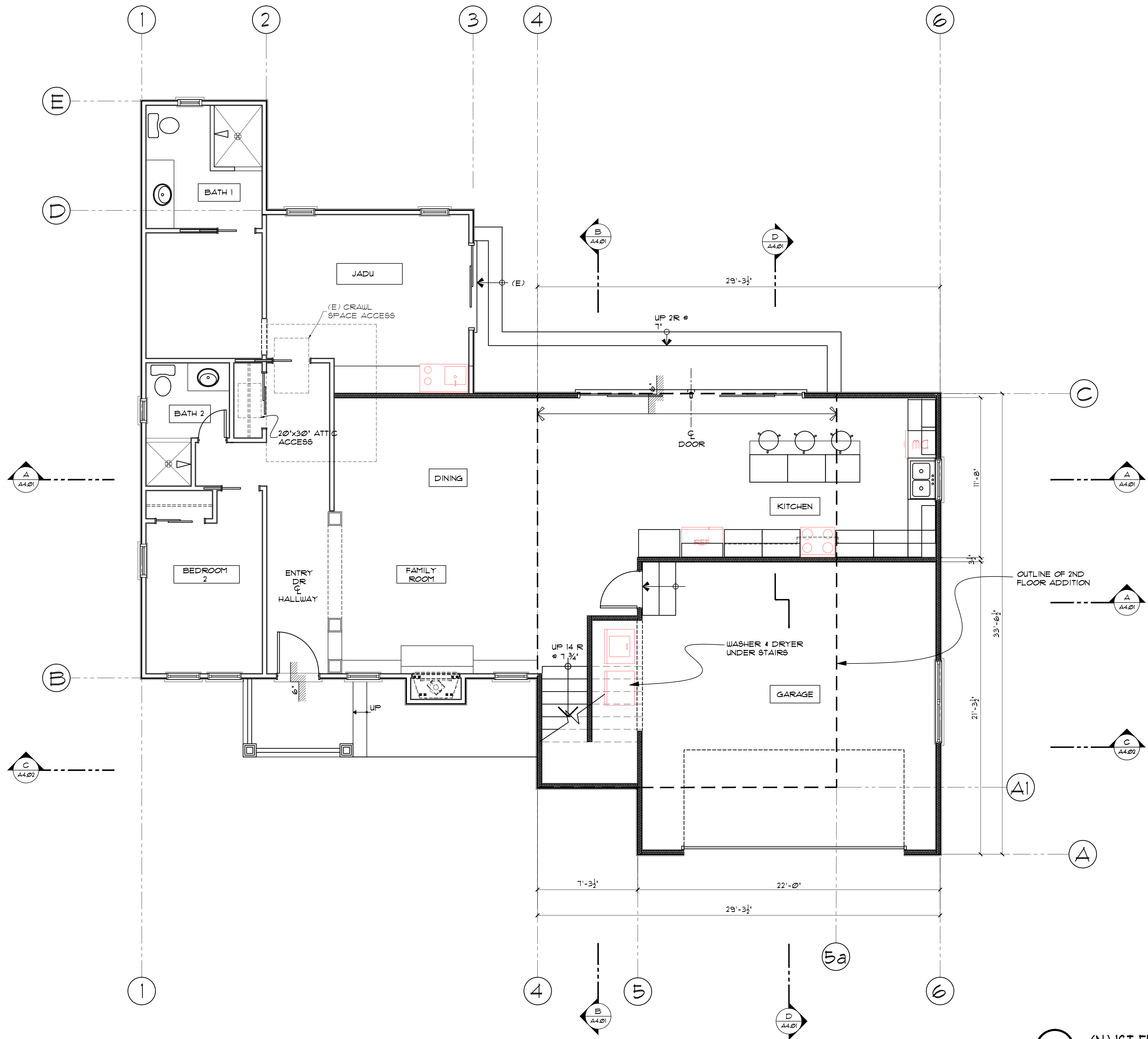
KEITH GORDON
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(408) 348-0603

SHEET NOTES

WALL LEGEND:

- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED
- (N) WALL



(N) 1ST FLOOR PLAN
1/4"=1'-0"



THE
LIU
RESIDENCE
108 HILLVIEW AVE.
LOS ALTOS, CA 94022

(N) 1ST. FLOOR PLAN

DATE:	04/01/2025
SCALE:	1/4"=1'-0"
PROJECT:	LIU-240163

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SHEET:

A2.02

REVISION	DATE
1 PLANNING COMMENTS	07/30/25
2 PLANNING COMMENTS	07/06/26
3 PLANNING COMMENTS	03/07/26

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SHEET NOTES

WALL LEGEND:

- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED
- (N) WALL



THE
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RESIDENCE
108 HILLVIEW AVE.
LOS ALTOS, CA 94022

(N) 2ND. FLOOR PLAN

DATE: 04/01/2025

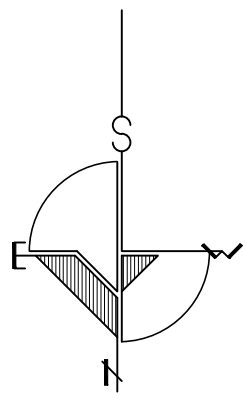
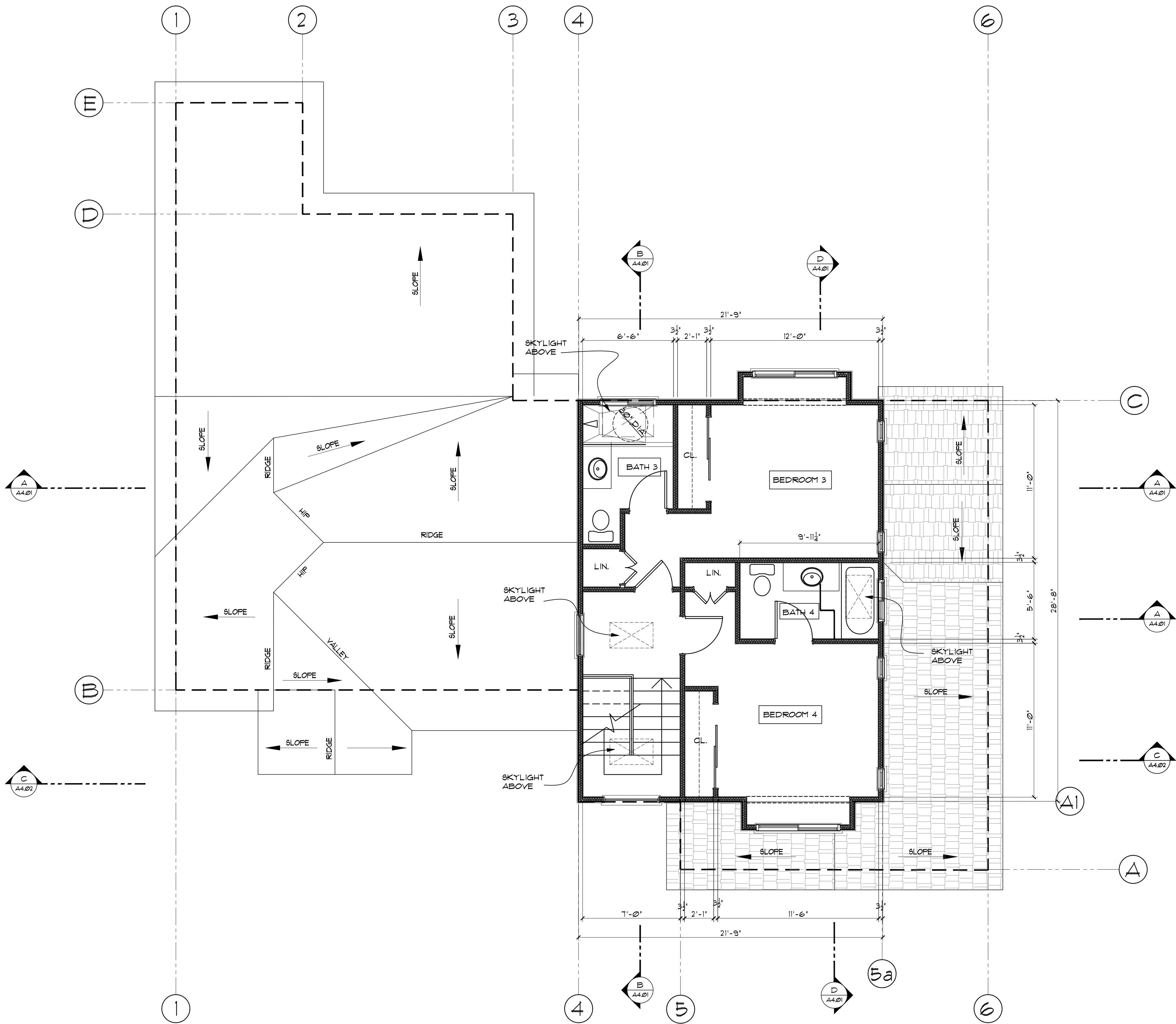
SCALE: 1/4"=1'-0"

PROJECT: LIU-240263

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SHEET:

A2.03



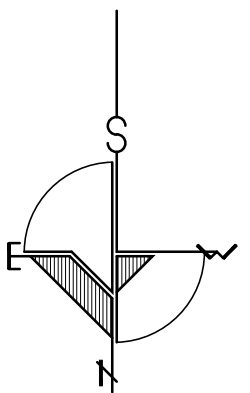
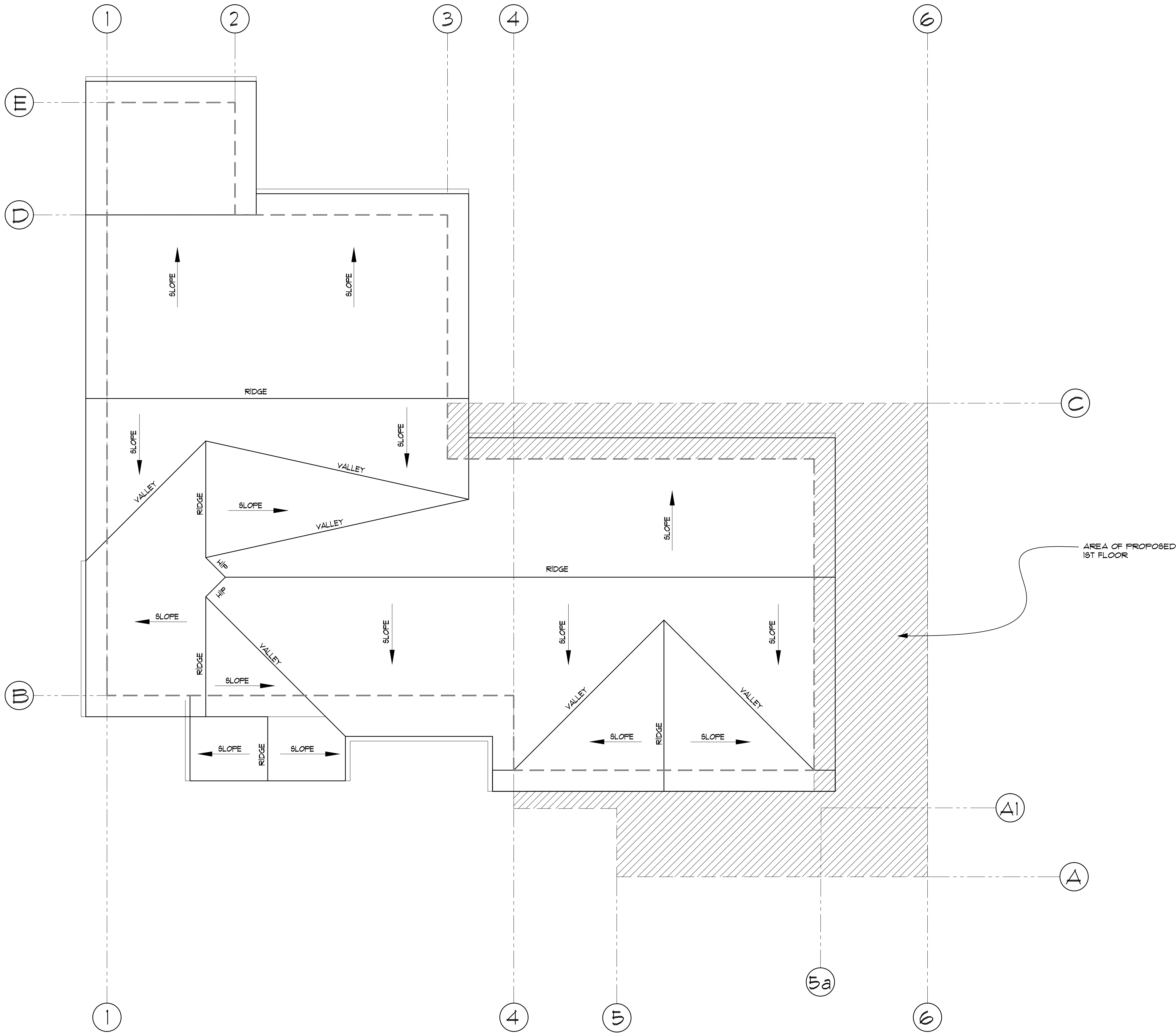
(N) 2ND FLOOR PLAN
1/4"=1'-0"

REVISION	DATE
1 PLANNING COMMENTS	01/30/25
2 PLANNING COMMENTS	02/06/26
3 PLANNING COMMENTS	03/31/26

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SHEET NOTES



(E) ROOF PLAN
1/4" = 1'-0"



THE
LIU
RESIDENCE
108 HILLVIEW AVE.
LOS ALTOS, CA 94022

(E) ROOF PLAN

DATE: 04/01/2025

SCALE: 1/4" = 1'-0"

PROJECT: LIU-240263

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SHEET:

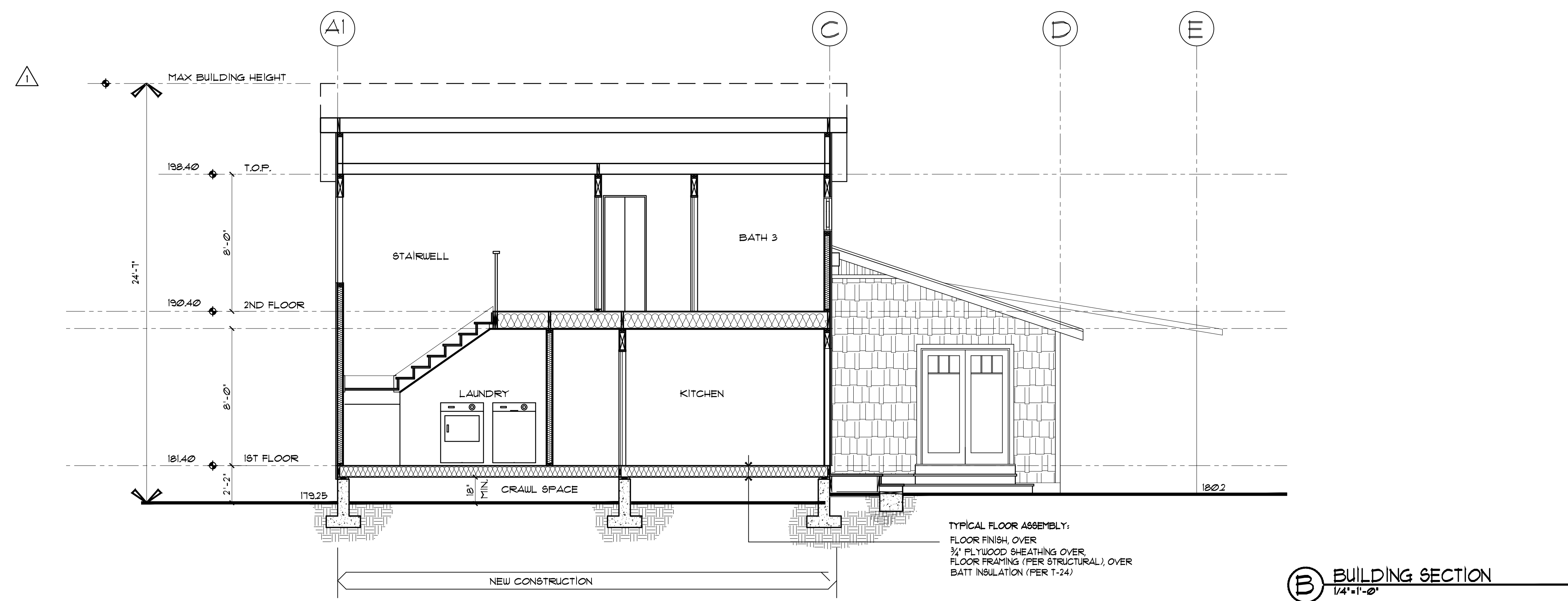
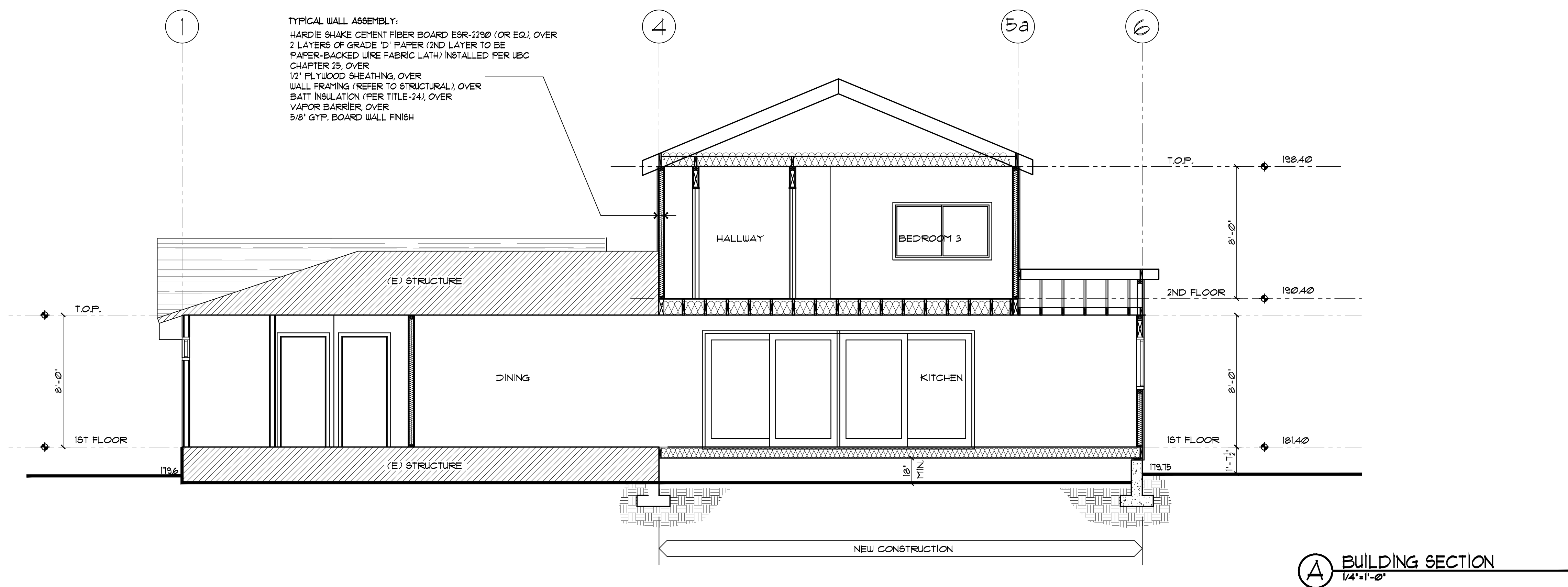
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REVISION	DATE
1	PLANNING COMMENTS 07/30/25
2	PLANNING COMMENTS 07/06/26
3	PLANNING COMMENTS 03/31/26

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SHEET NOTES



THE
LIU
RESIDENCE
108 HILLVIEW AVE.
LOS ALTOS, CA 94022

BUILDING SECTIONS

DATE: 04/01/2025
SCALE: 1/4"=1'-0"
PROJECT: LIU-240263

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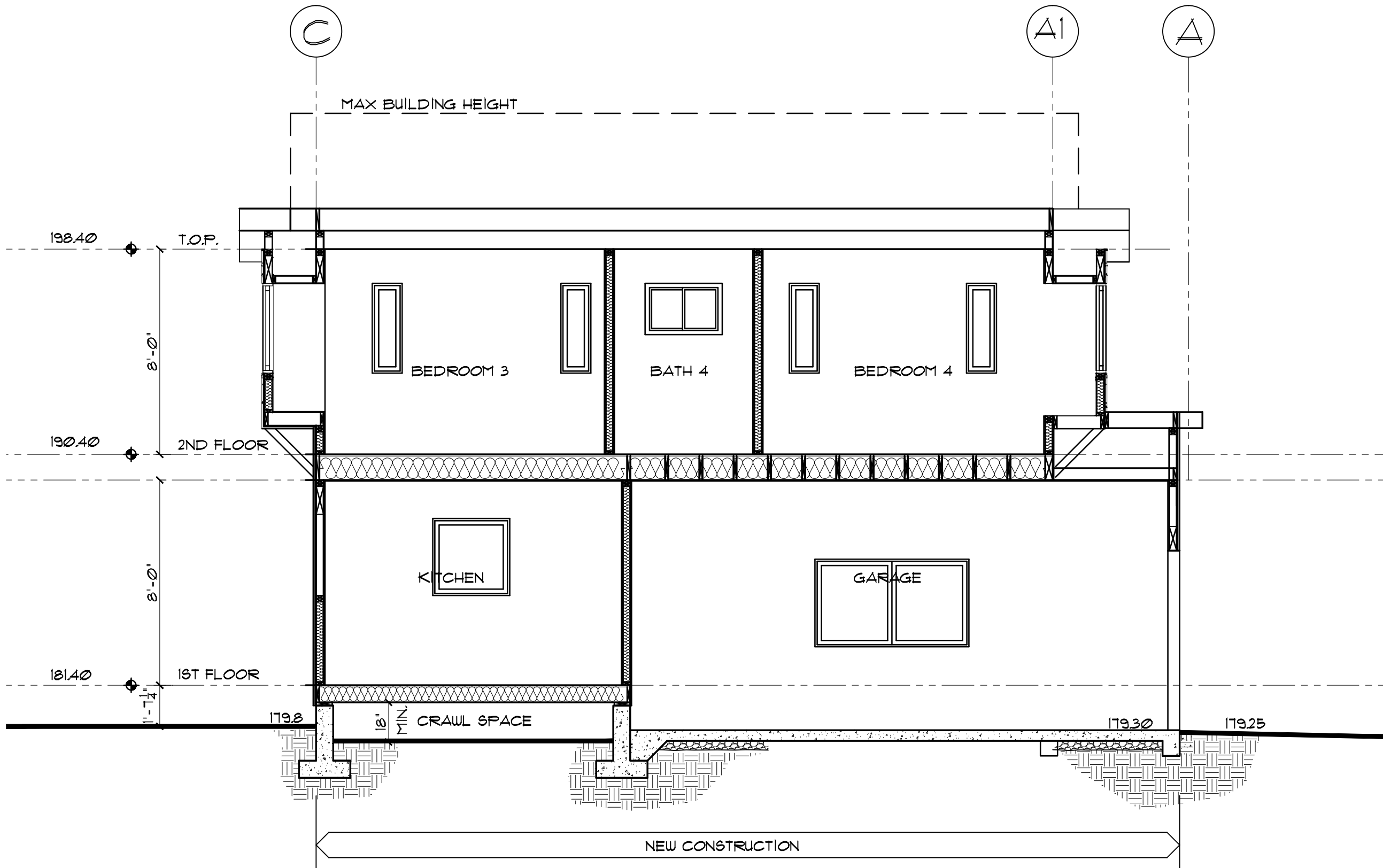
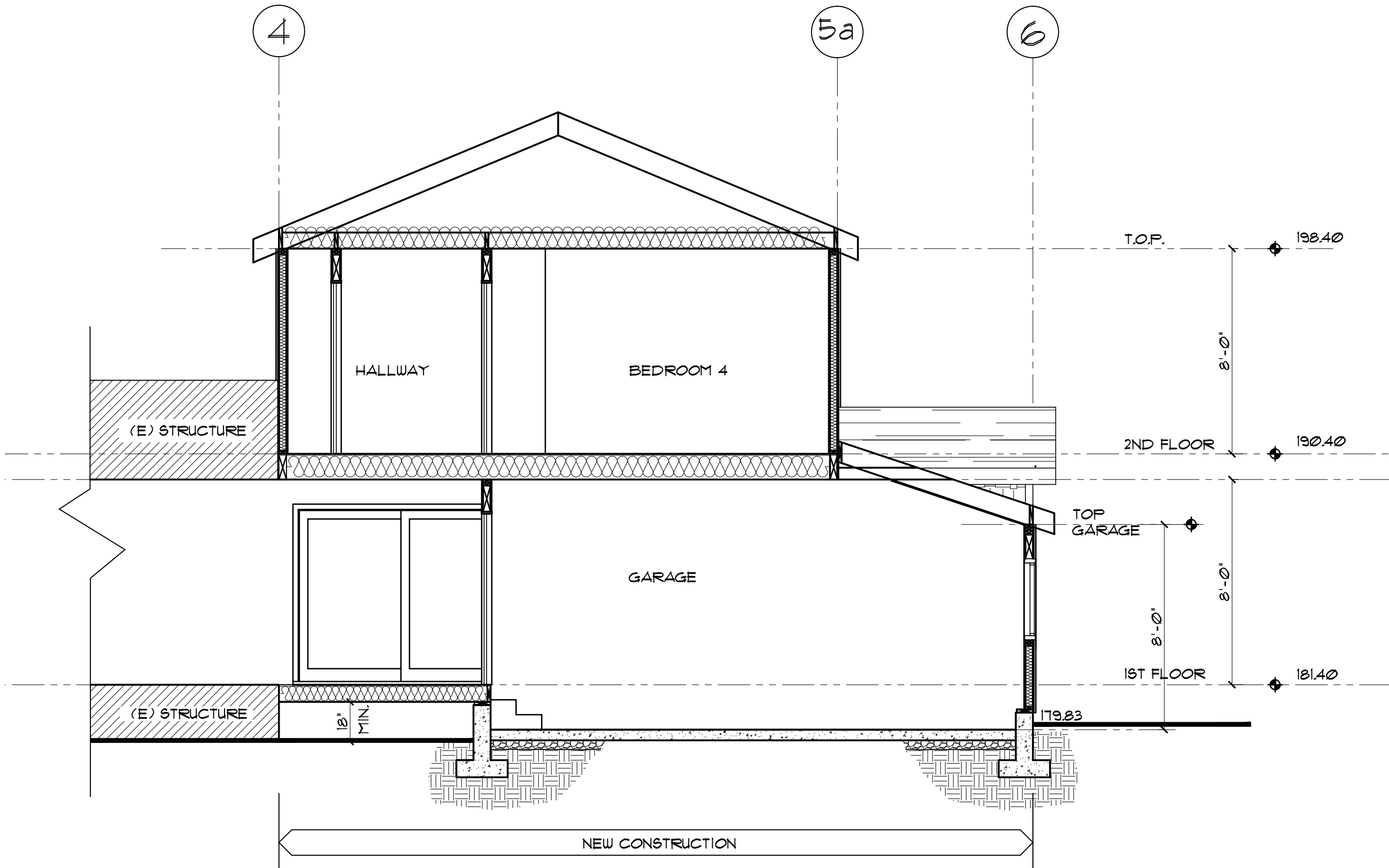
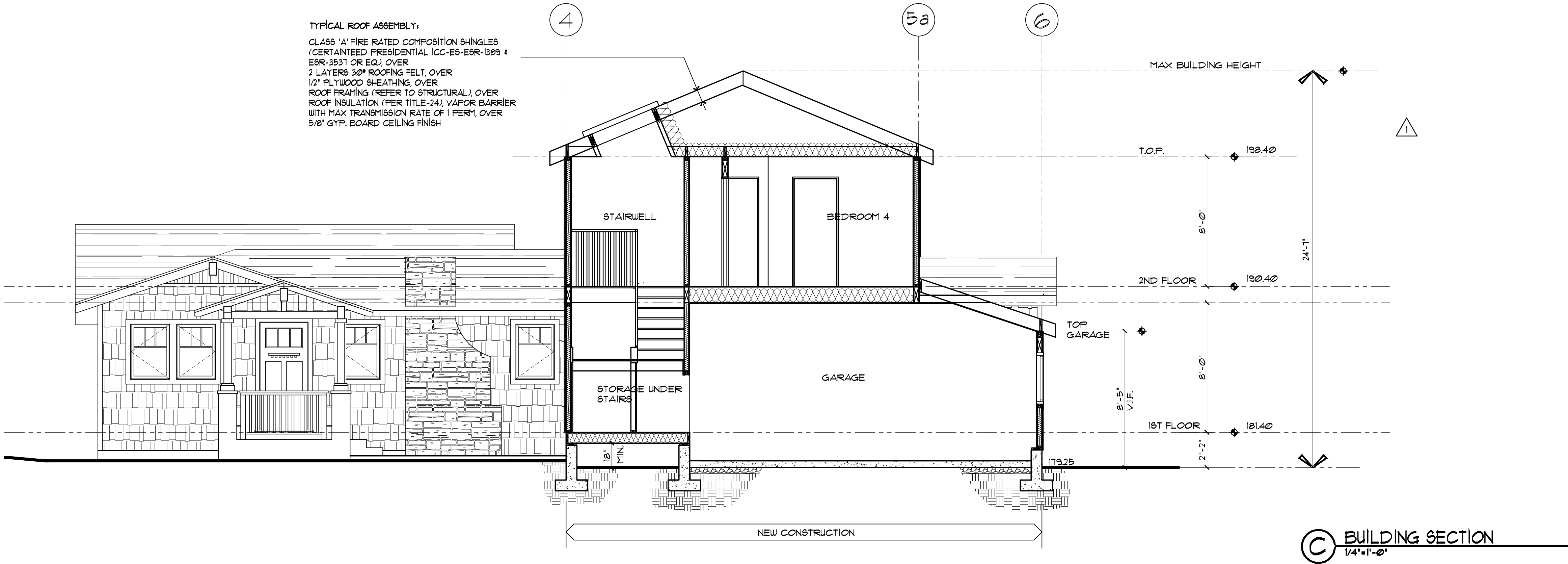
A4.01

REVISION	DATE
1	PLANNING COMMENTS 07/30/25
2	PLANNING COMMENTS 07/06/26
3	PLANNING COMMENTS 03/31/26

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SHEET NOTES



THE
LIU
RESIDENCE
108 HILLVIEW AVE.
LOS ALTOS, CA 94022

BUILDING SECTIONS

DATE: 04/01/2025

SCALE: 1/4"=1'-0"

PROJECT: LIU-240263

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SHEET:

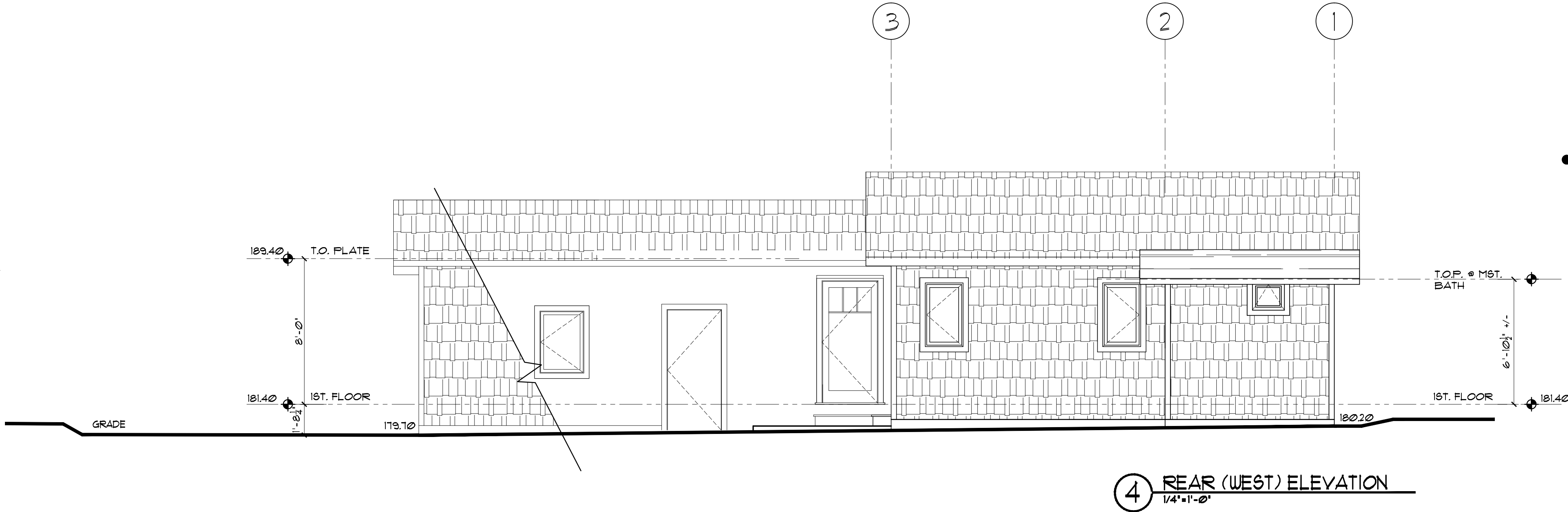
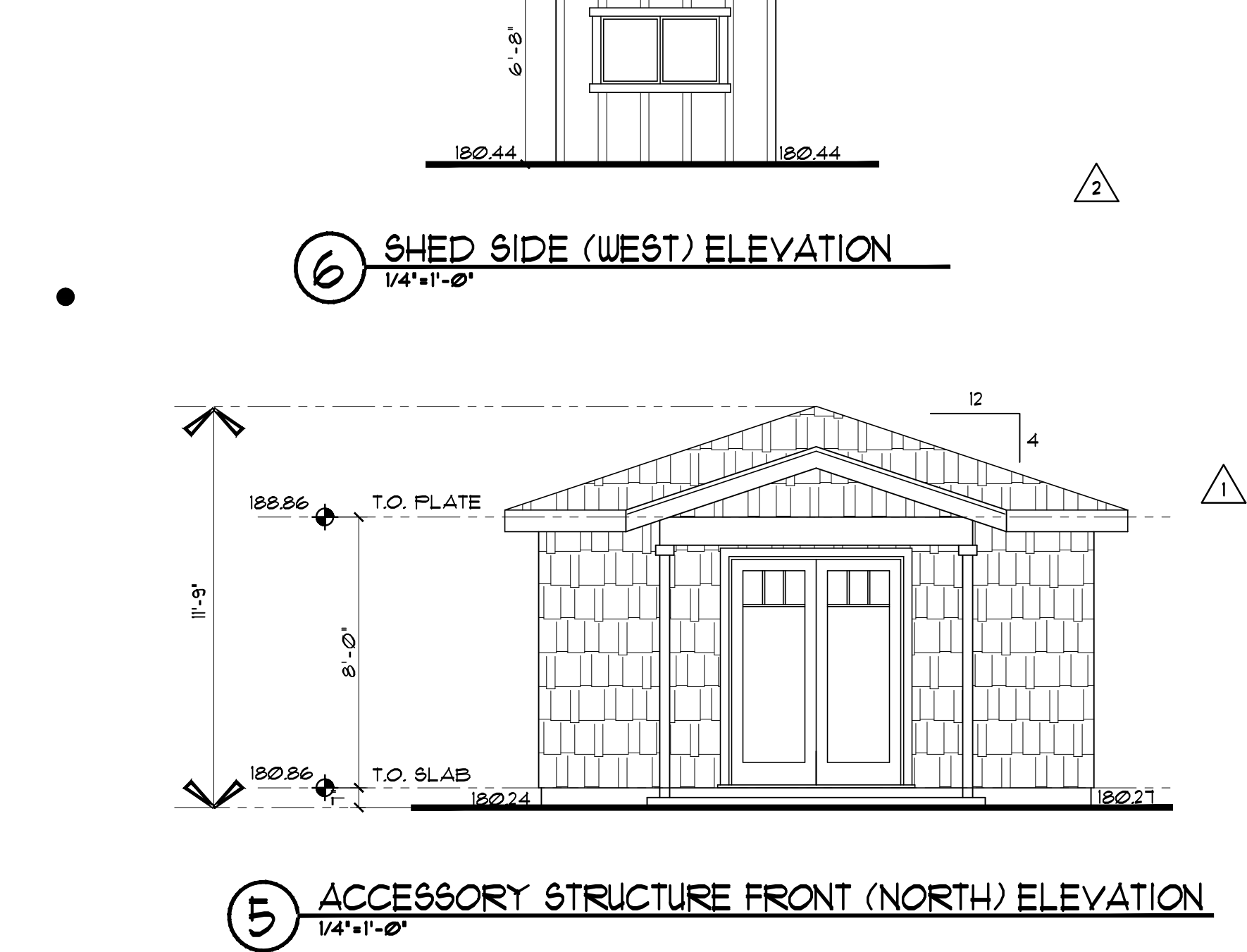
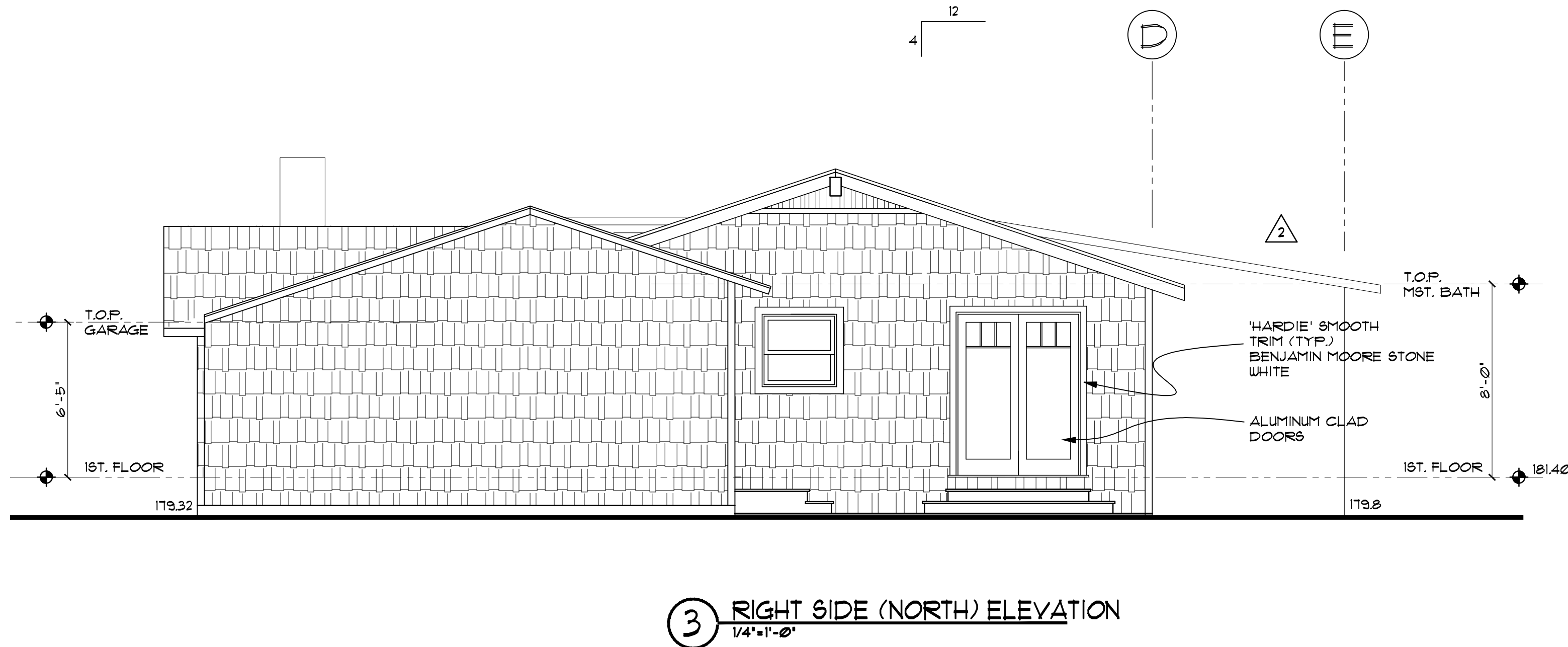
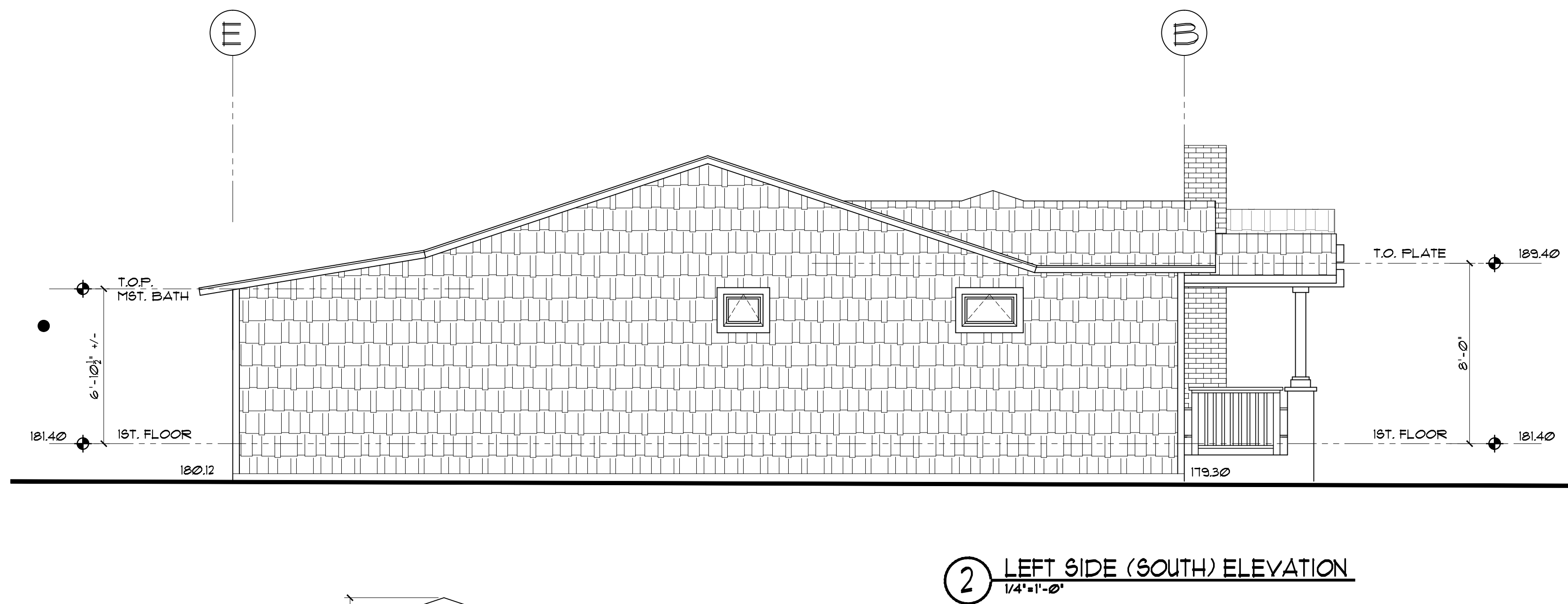
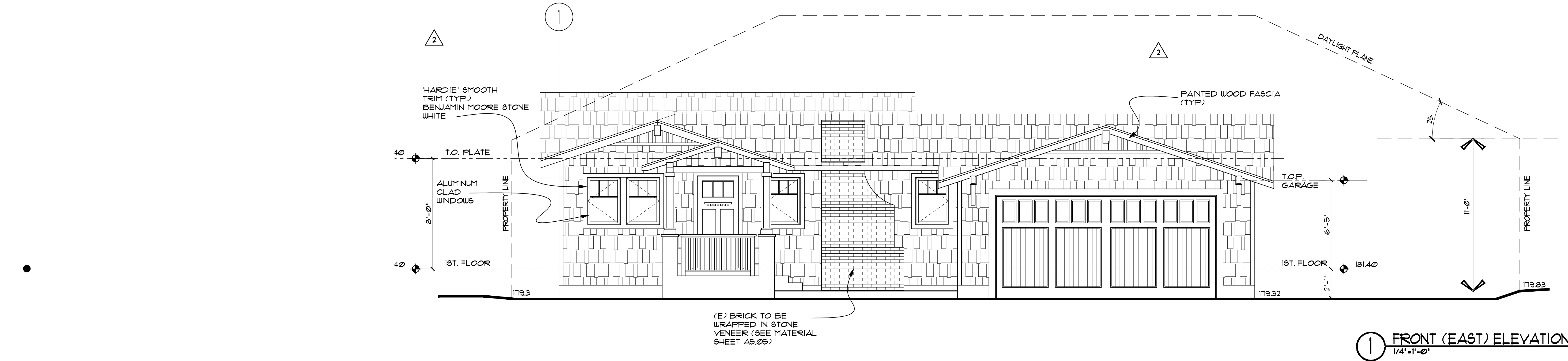
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REVISION	DATE
1	PLANNING COMMENTS 07/30/25
2	PLANNING COMMENTS 07/06/26
3	PLANNING COMMENTS 03/31/26

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SHEET NOTES



THE
LIU
RESIDENCE
108 HILLVIEW AVE.
LOS ALTOS, CA 94022

(E) EXTERIOR
ELEVATIONS

DATE: 04/01/2025

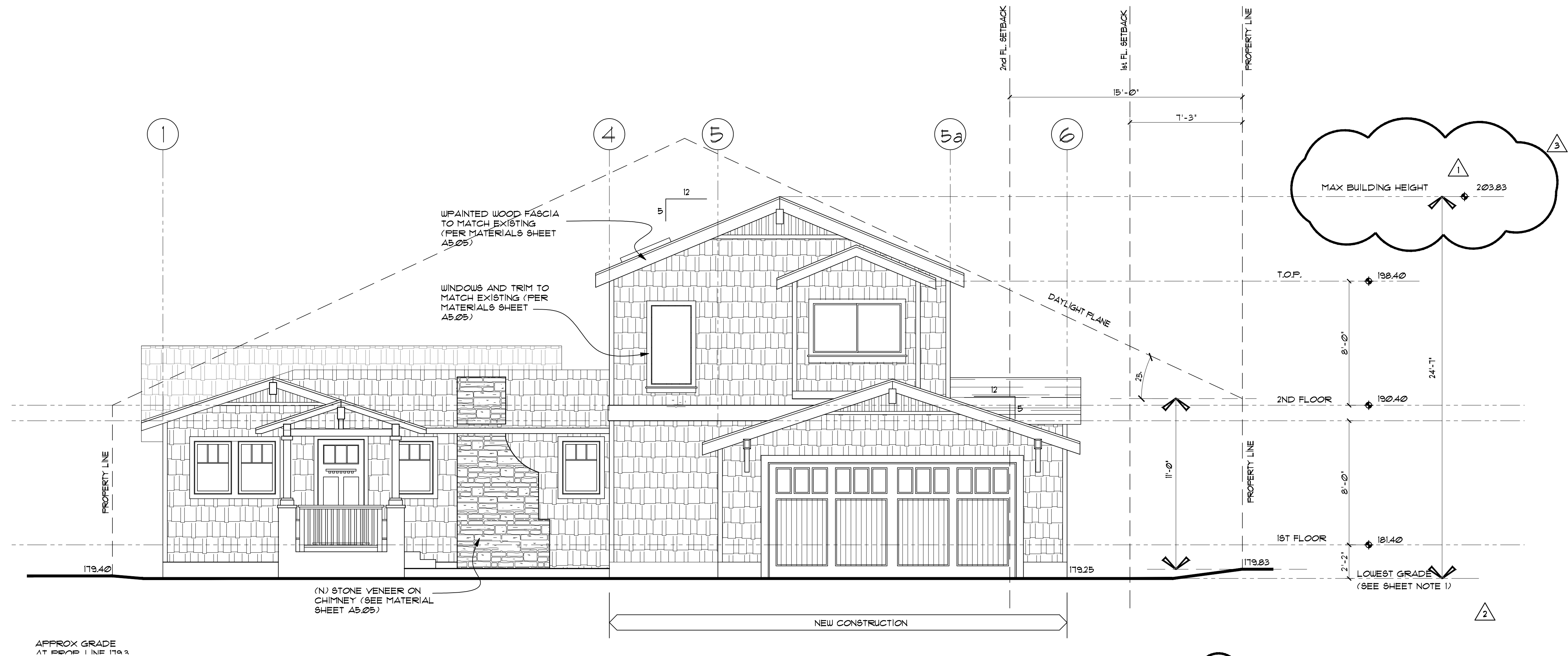
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PROJECT: LIU-240263

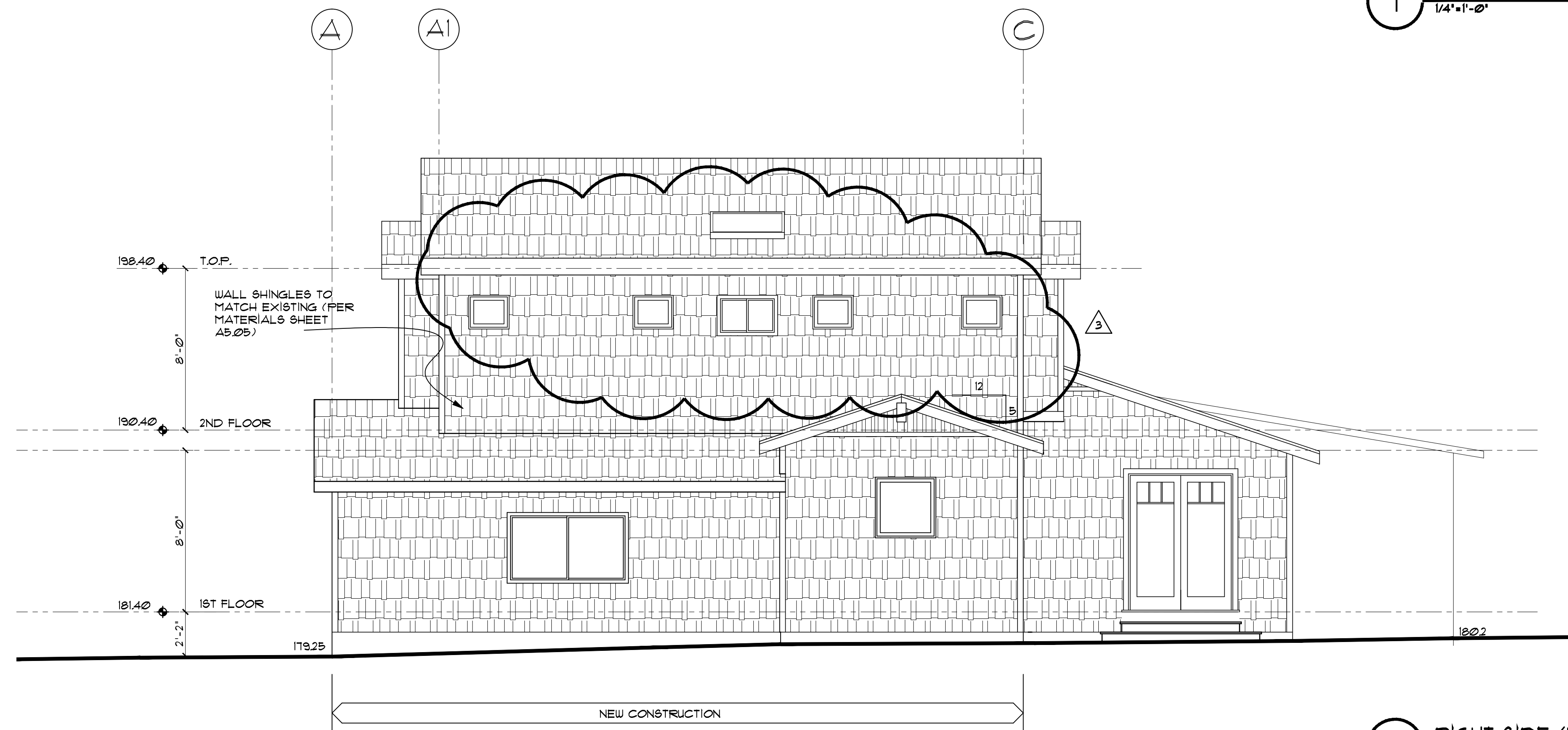
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SHEET:

A5.01



1 FRONT (NORTH) ELEVATION
1/4"=1'-0"



2 RIGHT SIDE (WEST) ELEVATION
1/4"=1'-0"

REVISION	DATE
1 PLANNING COMMENTS	01/30/25
2 PLANNING COMMENTS	02/06/26
3 PLANNING COMMENTS	03/07/26

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SHEET NOTES

1. (N) FINISHED GRADE AROUND THE STRUCTURE WILL MATCH THE (E) NATURAL GRADE

2



THE
LIU
RESIDENCE
108 HILLVIEW AVE.
LOS ALTOS, CA 94022

(N) EXTERIOR
ELEVATIONS

DATE: 04/01/2025
SCALE: 1/4"=1'-0"
PROJECT: LIU-240263
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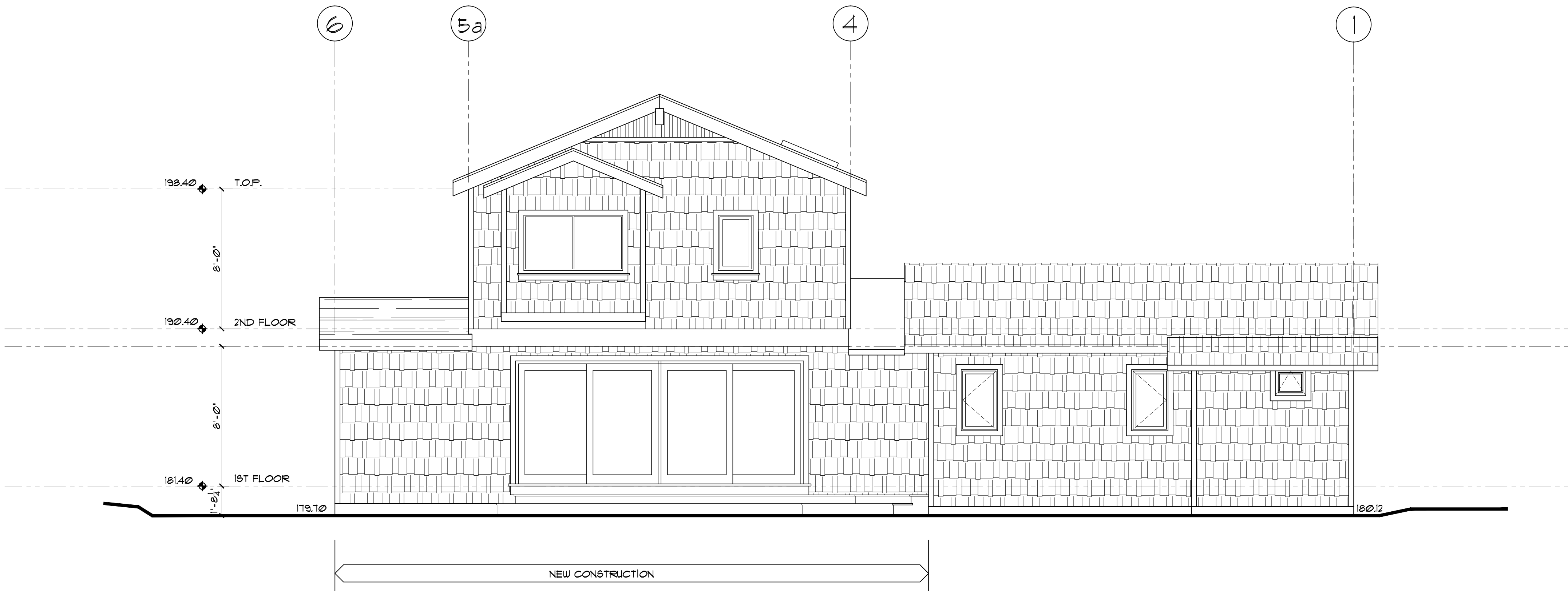
A5.02

REVISION	DATE
1	PLANNING COMMENTS 01/30/25
2	PLANNING COMMENTS 02/06/26
3	PLANNING COMMENTS 03/31/26

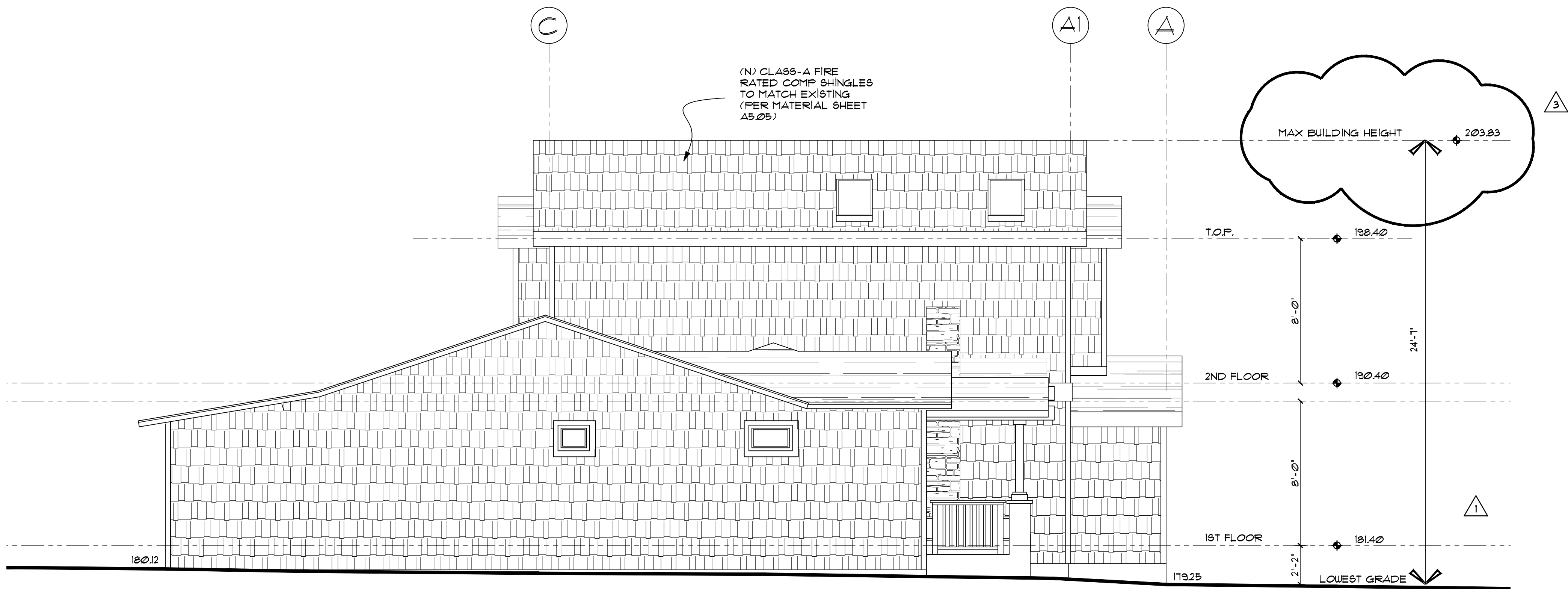
KEITH GORDON
ARCHITECT

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SHEET NOTES



3 REAR (SOUTH) ELEVATION
1/4"=1'-0"



4 LEFT SIDE (EAST) ELEVATION
1/4"=1'-0"



THE
LIU
RESIDENCE
108 HILLVIEW AVE.
LOS ALTOS, CA 94022

(N) EXTERIOR
ELEVATIONS

DATE: 04/01/2025

SCALE: 1/4"=1'-0"

PROJECT: LIU-240263

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SHEET:

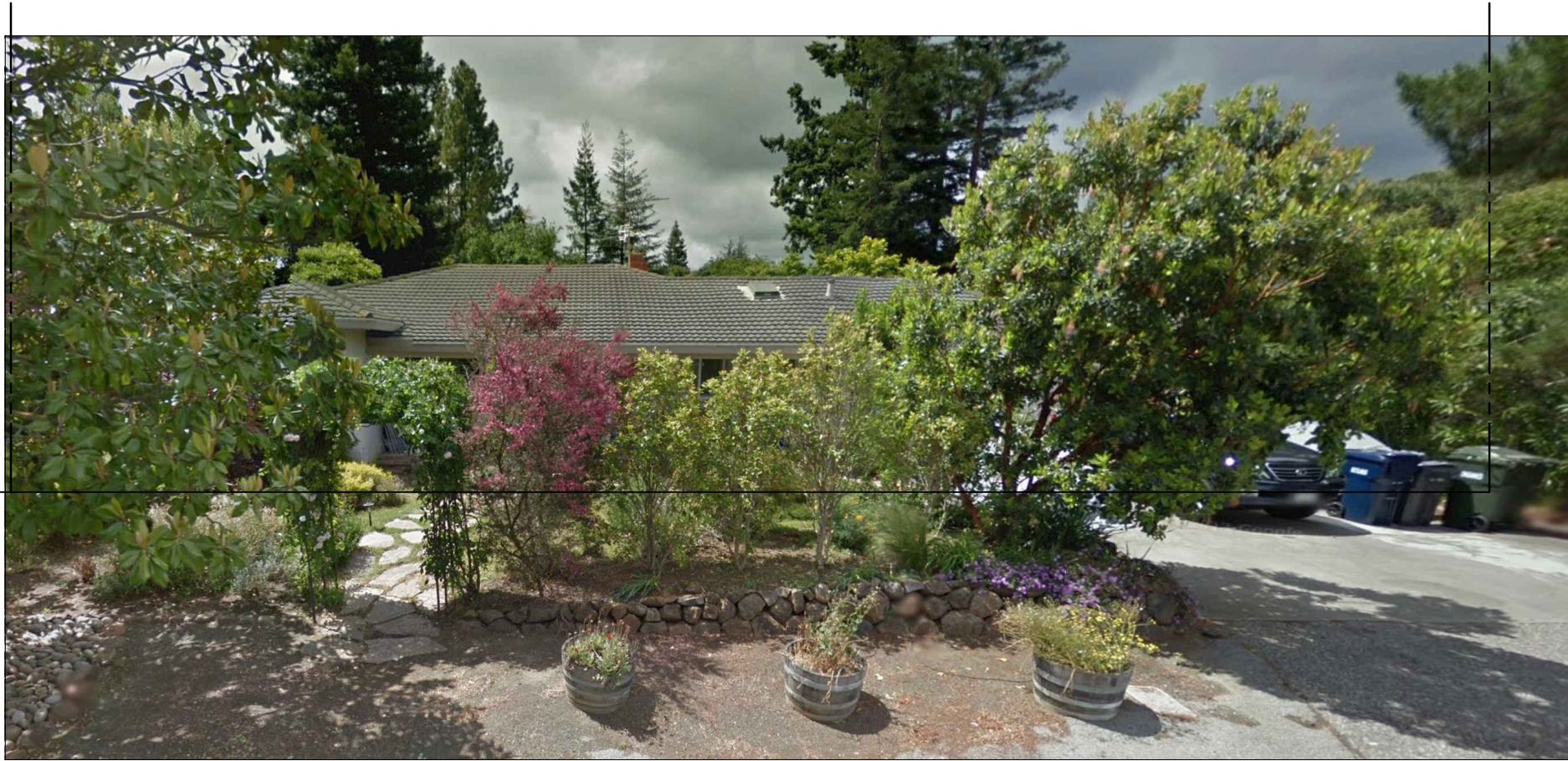
A5.03



122 HILLVIEW AVE. (FRONT PERSPECTIVE)



108 HILLVIEW AVE. (EXISTING FRONT PERSPECTIVE)



100 HILLVIEW AVE. (FRONT PERSPECTIVE)

PERSPECTIVE NOTE: PERSPECTIVES WERE TAKEN FROM GOOGLE STREET VIEW. THEY HAVE BEEN SCALED AS CLOSE AS POSSIBLE TO REPRESENT THE EXISTING HEIGHTS

REVISION	DATE
1	PLANNING COMMENTS 07/26/25
2	PLANNING COMMENTS 07/06/26
3	PLANNING COMMENTS 09/3/26

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SHEET NOTES



100 - 122 HILLVIEW AVE. (STREET PANORAMIC)

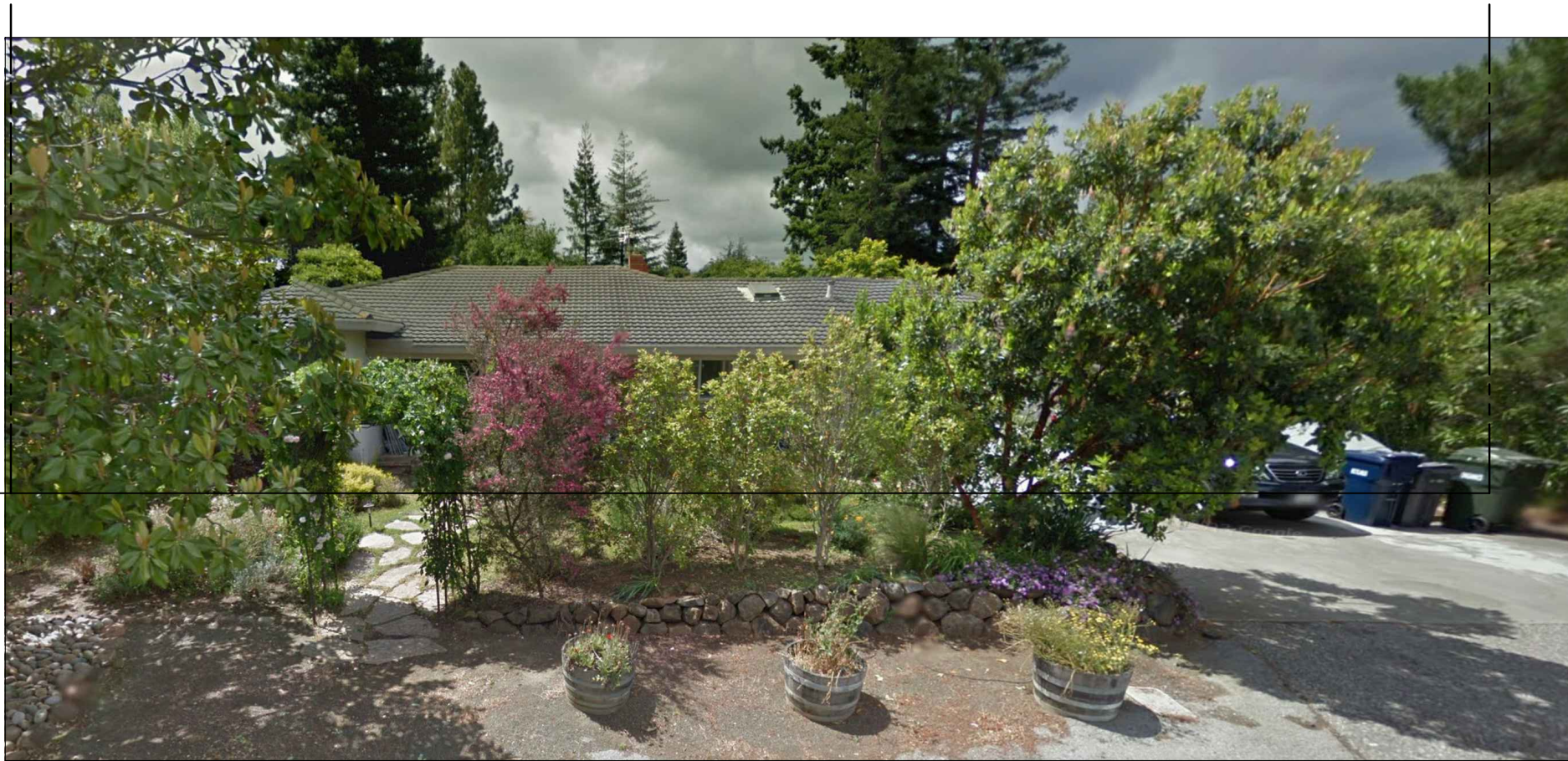
1 (E) STREETSCAPE
1"=10'-0"



122 HILLVIEW AVE. (FRONT PERSPECTIVE)



108 HILLVIEW AVE. (PROPOSED FRONT PERSPECTIVE)



100 HILLVIEW AVE. (FRONT PERSPECTIVE)

PERSPECTIVE NOTE: PERSPECTIVES WERE TAKEN FROM GOOGLE STREET VIEW. THEY HAVE BEEN SCALED AS CLOSE AS POSSIBLE TO REPRESENT THE EXISTING HEIGHTS



100 - 122 HILLVIEW AVE. (STREET PANORAMIC)

2 (N) STREETSCAPE
1"=10'-0"

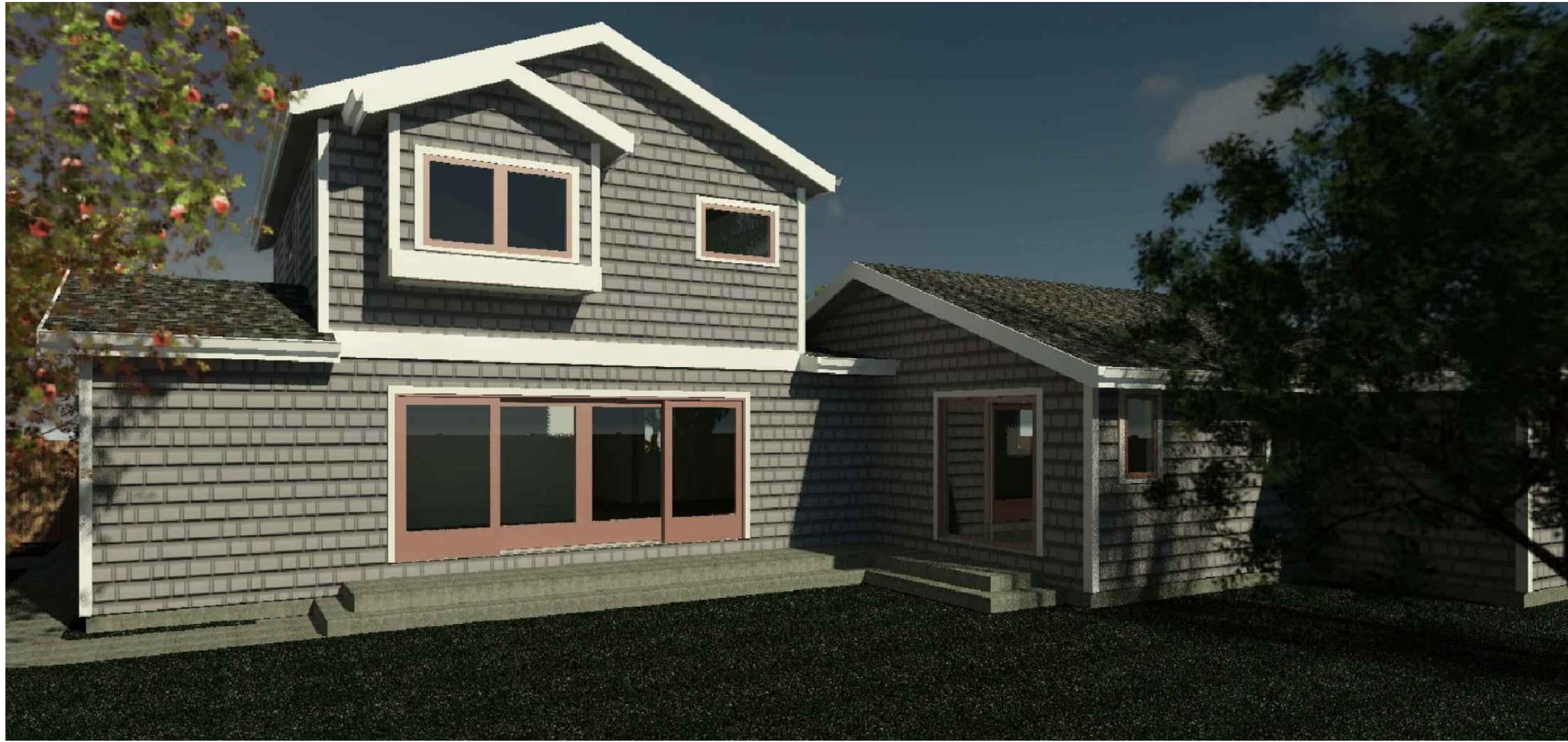


THE
LIU
RESIDENCE
108 HILLVIEW AVE.
LOS ALTOS, CA 94022

(N) & (E) STREET VIEW

DATE: 04/01/2025
SCALE: 1/4"=1'-0"
PROJECT: LIU-240263

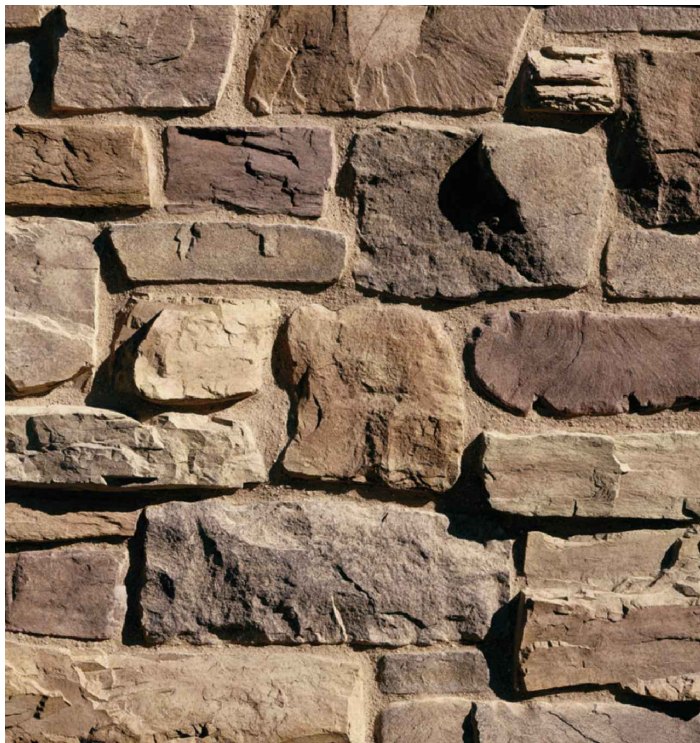
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SHEET: A5.04



4 REAR ELEVATION (LEFT)
N.T.S.



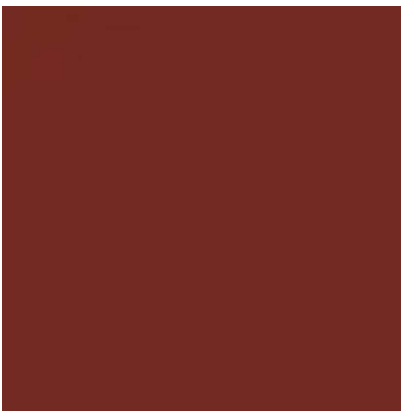
ROOF FINISH
CERTAINTEED PRESIDENTIAL SERIES SHINGLES
SHADOW GREY (TO MATCH EXISTING)



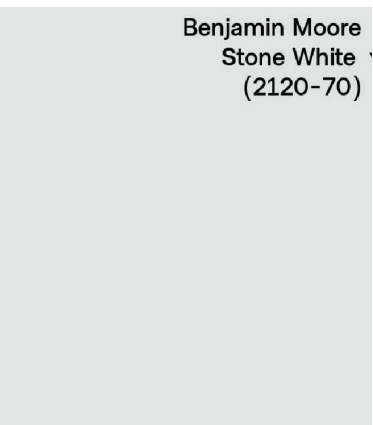
CHIMNEY FINISH
ELDORADO STONE
CYPRESS RIDGE - ORCHARD (OR EQ.)



WALL FINISH
HARDIE SHINGLES
LIGHT MIST (TO MATCH EXISTING)



WINDOWS
ALUMINUM CLAD WINEBERRY EXTERIOR FINISH
(TO MATCH EXISTING)



TRIM
WINDOW - HARDIE SMOOTH TRIM (OR EQ.) TO MATCH EXISTING
BENJAMIN MOORE STONE WHITE (TO MATCH EXISTING)
FASCIA - WOOD TRIM PAINTED TO MATCH EXISTING (SAME AS WINDOW TRIM)



1 FRONT ELEVATION (CENTER)
N.T.S.



2 FRONT ELEVATION (RIGHT)
N.T.S.



3 FRONT ELEVATION (LEFT)
N.T.S.

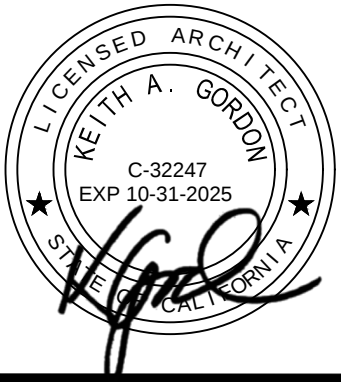
REVISION	DATE
1 PLANNING COMMENTS	01/26/25
2 PLANNING COMMENTS	02/06/26
3 PLANNING COMMENTS	03/31/26

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SHEET NOTES

1. STREET TREES REMOVED FROM
RENDERINGS FOR CLARITY



THE
LIU
RESIDENCE
108 HILLVIEW AVE.
LOS ALTOS, CA 94022

RENDERINGS &
EXTERIOR MATERIALS

DATE: 04/01/2025

SCALE: 1/4"=1'-0"

PROJECT: LIU-240263

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SHEET:

A5.05

