



ZONING ADMINISTRATOR REGULAR MEETING AGENDA

**March 18, 2026 - 4:00 PM
Community Meeting Chambers,
Los Altos City Hall
1 North San Antonio Road, Los Altos, CA, 94022**

PARTICIPATION: Members of the public may participate by being present at the Los Altos Community Meeting Chambers at Los Altos City Hall located at 1 N. San Antonio Rd, Los Altos, CA during the meeting. Public comment is accepted in person at the physical meeting location, or via email to ZAPublicComment@losaltosca.gov.

REMOTE MEETING OBSERVATION: Members of the public may view the meeting via the link below, but will not be permitted to provide public comment via Zoom or telephone. Public comment will be taken in-person, and members of the public may provide written public comment by following the instructions below.

<https://tinyurl.com/mt362tb8>

Telephone: 1-669-900-9128 / Webinar ID: 963 1760 3165 / Passcode: 701956

SUBMIT WRITTEN COMMENTS: Verbal comments can be made in-person at the public hearing or submitted in writing prior to the meeting. Written comments can be mailed or delivered in person to the Development Services Department or emailed to ZAPublicComment@losaltosca.gov.

Correspondence must be received by 2:00 p.m. on the day of the meeting to ensure distribution prior to the meeting. Comments provided after 2:00 p.m. will be distributed the following day and included with public comment in the Zoning Administrator packet.

AGENDA

CALL MEETING TO ORDER

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

Members of the audience may bring to the Commission's attention any item that is not on the agenda. Please complete a "Request to Speak" form and submit it to the Staff Liaison. Speakers are generally given two or three minutes, at the discretion of the Chair. Please be advised that, by law, the Commission is unable to discuss or take action on issues presented during the Public Comment Period. According to State Law (also known as "the Brown Act") items must first be noticed on the agenda before any discussion or action.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

1. Zoning Administrator Meeting Minutes

Approval of the DRAFT minutes of the regular meeting of February 18, 2026.

PUBLIC HEARING

2. SC25-0021 - 465 Benvenue Avenue - Yizhou Xu

Request for Design Review for the construction of a new 3,183 square-foot two-story house subject to the listed findings and conditions of approval. The project is categorically exempt under the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction or Conversion of Small Structures).

ADJOURNMENT

SPECIAL NOTICES TO THE PUBLIC

In compliance with the Americans with Disabilities Act and California Law, it is the policy of the City of Los Altos to offer its programs, services and meetings in a manner that is readily accessible to everyone, including individuals with disabilities. If you are a person with a disability and require information or materials in an appropriate alternative format; or if you require any other accommodation, please contact department staff. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility.

Agendas, Staff Reports and some associated documents for the Zoning Administrator items may be viewed on the Internet at <https://ca-losaltos.civicplus.com/527/Zoning-Administrator>.

Decisions of the Zoning Administrator are final unless appealed by filing an appeal with the City Clerk within 14 calendar days of the decision. No building permits shall be issued during this 14-day period.



ZONING ADMINISTRATOR MEETING MINUTES

4:00 PM – Wednesday, February 18, 2026

***Community Meeting Chambers, Los Altos City Hall
1 North San Antonio Road, Los Altos, CA***

CALL MEETING TO ORDER

At 4:00 p.m. the Zoning Administrator called the meeting to order.

ESTABLISH QUORUM

PRESENT: Zoning Administrator Williams

STAFF: Associate Planner Liu

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR.

1. Zoning Administrator Meeting Minutes

Approval of the DRAFT minutes of the regular meeting of February 4, 2026.

Action: Zoning Administrator Williams approved the meeting minutes for the regular meeting of February 4, 2026.

The motion was approved (1-0) by the following vote:

AYES: Williams

NOES: None

PUBLIC HEARING

2. SC25-0018 – Michelle Grooms and James March – 90 Marvin Avenue

Request for Design Review to construct a new 4,709 square-foot, one-story home with an overall height exceeding 20 feet. The project site is located on the south side of Marvin Avenue between Pepper Drive and Eleanor Avenue. The project is categorically exempt from environmental review pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA).

Project was dismissed as the project was withdrawn by applicant.

ADJOURNMENT

Zoning Administrator Williams adjourned the meeting at 4:04 PM.

Stephanie Williams
Zoning Administrator



ZONING ADMINISTRATOR AGENDA REPORT

TO: Stephanie Williams, Zoning Administrator

FROM: Brittany Whitehill, Senior Planner

SUBJECT: SC25-0021 – 465 Benvenue Avenue

RECOMMENDATION

Approve design review application SC25-0021 for the construction of a new 3,183 square-foot two-story house subject to the listed findings and conditions of approval; and find the project categorically exempt under the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction or Conversion of Small Structures).

BACKGROUND

Project Description

- Project Location: 465 Benvenue Avenue, located on the north side of Benvenue Drive between South El Monte Avenue and South Clark Avenue
- Lot Size: 9,116 square feet
- General Plan Designation: Single-Family (4 dwelling units/net acre)
- Zoning Designation: R1-10
- Current Site Conditions: One-story house

The proposed project includes demolition of the existing one-story house and detached garage and construction of a new 3,183 square foot, two-story house with an attached garage (see Attachment 1 – Project Plans). The garage will be accessed via a new driveway from Benvenue Avenue. Additionally, the site will be improved with landscaping, including various screening trees and shrubs. The plans show a Junior Accessory Dwelling Unit (JADU) and a detached Accessory Dwelling Unit (ADU), which will both be reviewed ministerially with a building permit submittal.

ANALYSIS

Design Review

The proposed home complies with the R1-10 district development standards found in LAMC Chapter 14.06, as demonstrated by the following table:

	Existing	Proposed	Allowed/Required
COVERAGE:	27.4%	27.8%	30%
FLOOR AREA:			
First floor	1,825 sq. ft.	2,352 sq. ft.	-
Second floor	-	831 sq. ft.	-
Total	1,825 sq. ft. (20%)	3,183 sq. ft. (34.9%)	3,190 sq. ft. (35%)
SETBACKS:			
Front	29.2 ft.	25 ft.	25 ft.
Rear	26.1 ft.	56 ft.	25 ft.
Right Side (1 st /2 nd)	12.9 ft.	6 ft./18.2 ft.	6 ft./13.5 ft.
Left Side (1 st /2 nd)	8.9 ft.	6 ft./16.6 ft.	6 ft./13.5 ft.
HEIGHT:	14.9 ft.	20.5 ft.	27 ft.

Two story residences are permitted in the R1-10 District when they comply with the development standards for the district including setbacks, height, and daylight plane. These requirements limit development and ensure compatibility with surrounding homes, while the Single-Family Residential Design Guidelines address bulk, massing, and neighborhood character. The immediate neighborhood is a transitional character neighborhood, comprised of many one-story ranch style homes, with some newer two-story homes of varied architectural styles. Nearby homes have varied massing and range in height from approximately 11' to 25'.

The proposed house features a contemporary design with a flat roof, articulated massing, and high-quality materials including stucco and concrete siding, wood slat exterior cladding, and contemporary metal overhangs. The home features modest plate heights (approximately 10'2" at the first floor, and 8'-10" at the second floor) and substantial second-story step backs reduce the perceived massing, creating a design that is of appropriate scale when compared to neighboring homes. The proposed house meets all R1-10 standards and follows the Design Guidelines through articulated massing, roof forms, and landscaping that reduce bulk and integrate the design into the neighborhood.

The project submittal included an arborist report, which evaluated seven protected trees – one on the property (Tree No. 1 – 13" Tulip Magnolia), and six on neighboring properties. The project has been designed to preserve Tree No. 1, which serves as a focal point at the front of the property. The arborist report evaluated potential construction impacts to the existing protected trees on the project site and neighboring sites, and recommended tree protection measures to mitigate any potential impacts, which are incorporated into the conditions of approval.

During the development review process, staff and the project applicant received comments from adjacent neighbors expressing concerns about potential privacy impacts. To address these concerns, the applicant revised the landscape plan to add an additional fifteen screening trees around the side and

rear property lines of the project site. In total, the project will add eighteen new trees, including Fruitless Olive, Bay Laurel, Marina Strawberry, Manzanita, and Carolina Cherry Laurel varieties. The landscape plan also includes a variety of shrubs and groundcover plants and complies with the Water Efficiency in Landscape Ordinance (WELO).

The proposed project meets the R1-10 zoning district development standards and complies with the Single-Family Residential Design Guidelines because it is compatible with the character of the neighborhood as the design maintains an appropriate relationship with adjacent structures, minimizes bulk, and enhances onsite landscaping. Therefore, staff recommends the Zoning Administrator approve the Design Review application, subject to the attached findings and conditions of approval.

Housing Accountability Act

The Housing Accountability Act (HAA) (Government Code Section 65589.5), establishes the state's overarching policy that a local government may not deny, reduce the density of, or make infeasible housing development projects (projects resulting in two (2) or more housing units) that are consistent with objective local development standards unless the City makes specified written findings based upon a preponderance of the evidence that a specific, adverse health or safety impact exists. Legislative intent language indicates that the conditions that would give rise to such a specific, adverse impact upon the public health and safety would occur infrequently. The proposed project is protected under the HAA, as it creates additional housing stock within the City of Los Altos and the proposed project meets all applicable objective development and design standards.

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review under Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA) because it involves the construction of a single-family dwelling in a residential zone.

PUBLIC NOTIFICATION AND COMMUNITY OUTREACH

A public meeting notice was mailed to property owners within a 300-foot radius and published in the newspaper. The applicant also posted the public notice sign on the property in conformance with the Planning Division posting requirements.

The project applicants conducted neighborhood outreach to solicit project feedback. As of the preparation of this report, three written public comments have been received (Attachment 2).

Attachment:

1. Project Plans
2. Public Comments

Cc: Yizhou Xu (Project Applicant, Property Owner)

FINDINGS

SC25-0021– 465 Benvenue Avenue

With regard to the proposed project, the Zoning Administrator finds the following in accordance with Section 14.77.070 of the Municipal Code:

- A. The proposal meets the goals, policies and objectives of the general plan and any objective design guidelines or standards and ordinance(s) adopted for the specific district or area because the proposed residence is consistent with the development standards of the R1-10 zoning district and policies and implementation techniques described in the Single-Family Residential Design Guidelines.
- B. The proposed structures have been designed to follow the natural contours of the site with minimal grading, minimal impervious cover and maximum erosion protection because the building is on a relatively flat lot and does not include a basement, so minimal grading is required, and the site includes ample softscape and landscape areas to minimize impervious surfaces.
- C. Building mass has articulated architectural elements or features that relate to the human scale, both horizontally and vertically. Building elevations have variation and depth and avoid large blank wall surfaces. Residential or mixed-use residential projects incorporate elements that signal habitation, such as identifiable entrances, stairs, porches, bays and balconies. The building design features modest wall plate heights and substantial second-story step backs all of which serve to visually break up the vertical massing of the building and provide variation in the building facades.
- D. Exterior materials and finishes convey high quality, integrity, permanence and durability, and materials are used effectively to define building elements such as base, body, parapets, bays, arcades and structural elements. Materials, finishes, and colors have been used in a manner that serves to reduce the perceived appearance of height, bulk and mass. The design incorporates high-quality materials including a combination of white stucco and grey concrete siding, natural wood accents, and metal awnings. The materials are of high quality, are characteristic of the proposed contemporary architectural style, and serve to break up the perceived mass and bulk of the building.
- E. The design and layout of the proposed project will result in well-designed vehicle and pedestrian access, circulation, and parking because the home features a two-car garage and driveway, which will provide compliant parking for the proposed single-family home, as well as adequate backout distance for vehicle maneuvering.
- F. The general landscape design ensures visual relief, complements structures, provides an attractive environment, and is consistent with any adopted landscape program because the plan features robust and varied landscaping, including the protection of an existing protected tree, the addition of 18 new trees around the perimeter of the site, and new shrubs and groundcover plants. The landscape plan complies with the Water Efficient Landscape Ordinance (WELo).

- G. Signage when proposed or required is designed to complement the building architecture in terms of style, materials, colors, proportions, and serves as identification of the building or business(es) only. This finding is not applicable as no signage is proposed.
- H. Mechanical equipment is fully screened from public view, and the screening is designed to be consistent with the building architecture in form, material and detailing and is in full compliance with Chapter 11.14 of the Los Altos Municipal Code because the proposed mechanical equipment will be screened from public view and will comply with all applicable setback requirements.
- I. Service and trash areas are fully screened from public view or are enclosed in structure(s) that are consistent with the building architecture in materials and detailing. Because the project consists of a single-family home, it does not require a designated trash or service area; however, the design of the site can accommodate trash storage that is not readily visible from the public right of way.
- J. Street improvements which are identified in Chapter 11.20 of the Los Altos Municipal Code will be constructed because the project will install a driveway apron and construct any necessary improvements to the existing curb and gutter along the property frontage. All street improvements will be required to comply with the City of Los Altos Shoulder Paving Policy and be subject to review and approval by the City Engineer.
- K. Offsite improvements associated with the subdivision of land allowed by Title 13 of the Los Altos Municipal Code, and/or the Subdivision Map Act. This finding is not applicable as no subdivision of land is proposed.
- L. The approval of the Design Review complies with the California Environmental Quality Act (CEQA) because the project is categorically exempt from environmental review under Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA) because it involves the construction of a single-family dwelling in a residential zone.

CONDITIONS OF APPROVAL

SC25-0021– 465 Benvenue Avenue

PLANNING DIVISION

1. **Expiration:** The Design Review Approval will expire on March 18, 2028, unless prior to the date of expiration, a building permit is issued or an extension is granted pursuant to the procedures and timeline for extensions in the Zoning Code.
2. **Approved Plans:** The approval is based on the plans and materials received on January 23, 2026, except as modified by these conditions as specified below.
3. **Revisions to the Approved Project:** Minor revisions to the approved plans which are found to be in substantial compliance with the approval may be approved by the Development Services Director.
4. **Indemnity and Hold Harmless:** The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney fees, incurred by the City in connection with the City's defense of its actions.
5. **Notice of Right to Protest:** The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d)(1), these conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day period in which you may protest these fees, dedications, reservations, and other exactions pursuant to Government Code Section 66020(a) began on the date of approval of this project. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.
6. **ADU/JADU Not Reviewed:** The proposed ADU/JADU included in the plan set is not part of this design review application. Prior to commencement of the ADU/JADU construction, a separate building permit issued by the Building Division shall be obtained.
7. **Protected Trees:** Trees No. 1 shall be protected under this application and cannot be removed without a Tree Removal Permit from the Development Services Director.
8. **Tree Protection Fencing:** The grading and tree or landscape plan of the building permit submittal shall show the required tree protection fencing which shall be installed around the dripline(s), or as required by the project arborist, of Tree No. 1 on the project site and Trees No. 5, 7, 8, 9, 10 and 11 on adjacent properties. Verification of installation of the fencing shall be submitted to the City

prior to building permit issuance. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

9. **Arborist Tree Protection Measures:** All tree protection measures described in the arborist report prepared by Bo Firestone Tree and Gardens and dated September 4, 2025, shall be implemented throughout the duration of construction.
10. **Landscaping:** The project shall be subject to the City's Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code. Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.
11. **Landscaping Installation and Verification:** All landscaping materials, including plants or trees intended to provide privacy screening, as provided on the approved landscape plans shall be installed prior to final inspection. The applicant shall also provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping, and irrigation were installed per the approved landscape documentation package prior to final inspection.
12. **Lighting Plan:** A detailed lighting plan shall be included in building permit drawings demonstrating compliance with Chapter 14.91 (Lighting Performance Standards) of the Los Altos Municipal Code. This plan should include photometric contours, footcandle readings, manufacturer's specifications on the fixtures, and mounting heights. The design and location of outdoor lighting fixtures shall ensure there will be no light spillover to surrounding properties, which is demonstrated with photometric contours and footcandle readings that extend beyond the project property lines. The lighting plan submitted with building permit drawings must be approved by the Development Services Director or their designee prior to building permit issuance.
13. **Mechanical Equipment:** Prior to issuance of a building permit, the applicant shall show the location of any mechanical equipment which complies with the requirements of Chapter 11.14 (Mechanical Equipment) and Chapter 6.16 (Noise Control) of the Los Altos City Code.

BUILDING DIVISION

14. **Building Permit:** A building permit is required for the project and building design plans shall comply with the latest applicable adopted standards. The applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.
15. **Conditions of Approval:** Incorporate the conditions of approval into the building permit submittal plans and provide a letter which explains how each condition of approval has been satisfied and/or which sheet of the plans the information can be found.
16. **School Fee Payment:** In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the

established school fee for each school district the property is located in and provide receipts to the Building Division. Payments shall be made directly to the school districts.

17. **Payment of Impact and Development Fees:** The applicant shall pay all applicable development and impact fees in accordance with State Law and the City of Los Altos current adopted fee schedule. All impact fees not paid prior to building permit issuance shall be required to provide a bond equal to the required amount prior to issuance of the building permit.
18. **Swimming Pools, Water Features, and Outdoor Kitchens:** Any proposed pool and associated equipment, water feature, and/or outdoor kitchen require a separate building permit and are subject to the City's standards pursuant to Section 14.06.120 and Chapter 14.15.
19. **Change of Address:** A "Request for Address Assignment or Change" form must be submitted to the Building Division to correlate with the addition of a new dwelling unit on the existing property or reorientation of the front of the home to a different street.
20. **Underground Utility and Fire Sprinkler Requirements:** New construction and additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.38 of the Municipal Code.
21. **California Water Service Upgrades:** The applicant is responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.
22. **Green Building Standards:** Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.
23. **Green Building Verification:** Prior to final inspection, submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).
24. **Underground Utility Location:** Show the location of underground utilities pursuant to Chapter 12.38 of the Municipal Code. Underground utility trenches shall avoid the driplines of all protected trees unless approved by the project arborist and the Planning Division.
25. **Work Hours/Construction Site Signage:** No work shall commence on the job site prior to 7:00 a.m. nor continue later than 5:30 p.m., Monday through Friday, from 9 a.m. to 3 p.m. Saturday, and no work is permitted on Sunday or any City observed holiday. The general contractor, applicant, developer, or property owner shall erect a sign at all construction site entrances/exits to advise subcontractors and material suppliers of the working hours and contact information, including an after-hours contact.

ENGINEERING DIVISION

26. **Encroachment Permit:** An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.
27. **Public Utilities:** The applicant shall contact electric, gas, communication, and water utility companies regarding the installation of new utility services to the site.
28. **Sewer Lateral:** Any proposed sewer lateral connection shall be approved by the City Engineer. Only one sewer lateral per lot shall be installed. All existing unused sewer laterals shall be abandoned according to the City Standards, cut and cap 12" away from the main.
29. **Transportation Permit:** A Transportation Permit, per the requirements specified in California Vehicle Code Division 15, is required before any large equipment, materials or soil is transported or hauled to or from the construction site. The applicant shall pay the applicable fees before the transportation permit can be issued by the City Engineer.
30. **Grading and Drainage Plan:** The applicant shall submit detailed plans for on-site and off-site grading and drainage plans that include drain swales, drain inlets, rough pad elevations, building envelopes, and grading elevations for review and approval by the City Engineer prior to the issuance of the building permit.
31. **Storm Water Management Plan:** The applicant shall submit a Storm Water Management Plan (SWMP) in compliance with the San Francisco Bay Region Municipal Regional Stormwater (MRP) *National Pollutant Discharge Elimination System (NPDES)* Permit No. CA S612008, Order R2-2022-0018, Provision C.3 dated May 11, 2022. All large single-family home projects that create and/or replace 10,000 sq. ft. or more of impervious surface on the project site and affected portions of the public right-of-way that are developed or redeveloped as part of the project must also complete a C.3. Data Form available on the City's Building Division website.
32. **Storm Water Filtration Systems:** Prior to the issuance of the building permit the applicant shall ensure the design of all storm water filtration systems and devices are without standing water to avoid mosquito/insect infestation. Storm water filtration measures shall be installed separately for each lot. All storm water runoff shall be treated onsite. Discharging storm water runoff to neighboring properties or public right-of-way and connections to existing underground storm water mains shall not be allowed.

FIRE DEPARTMENT

33. **ADU Square Footage:** With the building permit submittal, on sheet A0.0, provide detached ADU square footage information.
34. **Fire Sprinklers Required:** (*As noted on sheet A0.0*) Approved automatic sprinkler systems in new and existing buildings and structures shall be provided in the locations described in this Section or in Sections 903.2.1 through 903.2.12 whichever is the more restrictive and Sections 903.2.14 through 903.2.21. For the purposes of this section, firewalls and fire barriers used to separate

building areas shall be constructed in accordance with the California Building Code and shall be without openings or penetrations. The main house, detached ADU and JADU all require sprinklers.

35. **Required Fire Flow:** The minimum required fire flow for this project is 875 Gallons Per Minute (GPM) at 20 psi residual pressure. This fire flow assumes installation of automatic fire sprinklers per CFC [903.3.3.1]. Provide a fire flow letter from a local water purveyor confirming the required fire flow of 875 GPM @ 20 psi residual from a fire hydrant located within 600' of the farthest exterior corner of the structure is required. Contact your local water purveyor (California Water Company) for details on how to obtain the fire flow letter.
36. **Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2022 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.
37. **Address identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 6 inches high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.
38. **Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.

ABBREVIATIONS

A/C	AIR CONDITIONING	LAT	LATERAL
AD	AREA DRAIN	LAV	LAVATORY
ADA	AMERICANS WITH DISABILITIES ACT	LB	POUND
ADDL	ADDITIONAL	LF	LINEAR FOOT
ADJ	ADJUSTABLE	LL	LIVE LOAD
AFF	ABOVE FINISH FLOOR	LLH	LONG LEG HORIZONTAL
ALT	ALTERNATE	LLV	LONG LEG VERTICAL
ALUM	ALUMINUM	LP	LOW POINT
APPROX	APPROXIMATE	LT	LIGHT
ARCH	ARCHITECTURAL	LV	LOW VOLTAGE
AV	AUDIO VISUAL	M	METER
B/	BOTTOM OF (SEE OTHER WORD)	MAINT	MAINTENANCE
BLDG	BUILDING	MAX	MAXIMUM
CAB	CABINET	MCC	MOTOR CONTROL CENTER
CB	CATCH BASIN	MDF	MEDIUM DENSITY FIBERBOARD
CIP	CAST-IN-PLACE	MDO	MEDIUM DENSITY OVERLAY
CJ	CONTROL JOINT / CONSTRUCTION JOINT	MECH	MECHANICAL
CL	CENTER LINE	MEP	MECHANICAL, ELECTRICAL, PLUMBING
CLG	CEILING	MER	MECHANICAL EQUIPMENT ROOM
CLR	CLEAR	MEZZ	MEZZANINE
CM	CEMENTIMER	MFR	MANUFACTURER
CMB	CEMENT BOARD	MH	MANHOLE
CMU	CONCRETE MASONRY UNIT	MIN	MINIMUM
CO	CLEANOUT	MISC	MISCELLANEOUS
COL	COLUMN	MM	MILLIMETER
CONC	CONCRETE	MTD	MOUNTED
CONT	CONTINUOUS	MTL	METAL
COORD	COORDINATE	N	NEWTON
CS	CONCRETE SEALER	N/A	NOT APPLICABLE
CTR	CENTER	NC	NOISE CRITERIA
DEG	DEGREE	NIC	NOT IN CONTRACT
DEMO	DEMOLITION	NO	NUMBER
DEPT	DEPARTMENT	NOM	NOMINAL
DET	DETAIL	NPS	NOMINAL PIPE SIZE
DIA	DIAMETER	NRC	NOISE REDUCTION COEFFICIENT
DIFF	DIFFUSER	NTS	NOT TO SCALE
DIM	DIMENSION	OA	OUTSIDE AIR
DL	DEAD LOAD	OC	ON CENTER
DN	DOWN	OCEW	ON CENTER EACH WAY
DR	DOOR	OD	OUTSIDE DIAMETER/DIMENSION
DRN	DRAIN	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
DW	DISHWASHER	OFOI	OWNER FURNISHED, OWNER INSTALLED
DWG	DRAWING	OH	OVER HEAD
EA	EACH	OPNG	OPENING
EFS	EXTERIOR FINISH SYSTEM	OPP	OPPOSITE
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	OPP HD	OPPOSITE HAND
EL	ELEVATION	OXY	OXYGEN
ELEC	ELECTRICAL	PAF	POWER-ACTUATED FASTENER
EMERG	EMERGENCY	PBD	PARTICLEBOARD
ENCL	ENCLOSURE	PD	PERIMETER DRAIN
EP	ELECTRICAL PANELBOARD	PERF	PERFORATED
EQ	EQUAL	PL	PLATE
EQUIP	EQUIPMENT	PLBG	PLUMBING
EWC	ELECTRICAL WATER COOLER	PLF	POUNDS PER LINEAR FOOT
EXH	EXHAUST	PR	PAIR
EXIST	EXISTING	PREFAB	PREFABRICATED
EXP	EXPANSION	PSF	POUNDS PER SQUARE FOOT
EXT	EXTERIOR	PSI	POUNDS PER SQUARE INCH
FI	FACE OF (SEE OTHER WORD)	PTD	PAINTED
FA	FIRE ALARM	PTN	PARTITION
FD	FLOOR DRAIN	QTY	QUANTITY
FDC	FIRE DEPARTMENT CONNECTION	R	RADIUS
FDN	FOUNDATION	RA	RETURN AIR
FE	FIRE EXTINGUISHER	RCP	REFLECTED CEILING PLAN
FEC	FIRE EXTINGUISHER CABINET	RD	ROOF DRAIN
FEQ	FOOF EQUIPMENT	RECPT	RECEPTACLE
FF	FINISH FLOOR	REF	REFERENCE
FF&E	FURNITURE, FIXTURES & EQUIPMENT	REFR	REFRIGERATOR
FHC	FIRE HOSE CABINET	REINF	REINFORCED / REINFORCING
FIN	FINISH	REQ	REQUIRE / REQUIRED
FL	FLOOR	REV	REVISION / REVISED
FLUOR	FLUORESCENT	RM	ROOM
FO	FINISHED OPENING	RO	ROUGH OPENING
FRTW	FIRE RETARDANT TREATED WOOD	SA	SUPPLY AIR
FS	FIRE STOPPING	SAFB	SOUND ATTENUATING FIRE BLANKET/BATT
FT	FEET/FOOT	SAN	SANITARY
FTG	FOOTING	SCHED	SCHEDULE
FURN	FURNITURE	SD	STORM DRAIN
GA	GAUGE / GAGE	SECT	SECTION
GALV	GALVANIZED	SF	SQUARE FEET/FOOT
GC	GENERAL CONTRACTOR, GENERAL CONTRACT	SHR	SHOWER
		SHT	SHEET
GFRC	GLASS FIBER REINFORCED CONCRETE	SIM	SIMILAR
GFRG	GLASS FIBER REINFORCED GYPSUM	SM	SQUARE METER
GFRP	GLASS FIBER REINFORCED PLASTIC	SMS	SHEET METAL SCREW
GR	GRADE	SPEC	SPECIFICATION
GWB	GYPSUM WALLBOARD	SPKR	SPEAKER
HB	HOSE BIBB	SQ	SQUARE
HC	HANDICAPPED	SST	STAINLESS STEEL
HM	HOLLOW METAL	STD	STANDARD
HO	HOLD-OPEN	STL	STEEL
HORIZ	HORIZONTAL	STMS	SELF-TAP SHEET METAL SCREW
HP	HIGH POINT	STRL	STRUCTURAL
HR	HOUR	SUSP	SUSPENDED
HRC	HOSE REEL CABINET	SYMM	SYMMETRICAL
HSS	HOLLOW STRUCTURAL SECTION	T&G	TONGUE AND GROOVE
HT	HEIGHT	T/	TOP OF (SEE OTHER WORD)
HVAC	HEATING, VENTILATING, AIR CONDITIONING	TEMP	TEMPERATURE
HW	HOT WATER	TGB	TOGGLE BOLT
ICB	INTEGRAL COVE BASE	THK	THICKNESS
ICC	INTERNATIONAL CODE COUNCIL	TV	TELEVISION
ID	INSIDE DIAMETER / DIMENSION	TYP	TYPICAL
IN	INCH	UL	UNDERWRITERS LABORATORY
INFO	INFORMATION	UON	UNLESS OTHERWISE NOTED
INT	INTERIOR	VERT	VERTICAL
INV	INVERT	VEST	VESTIBULE
JC	JANITOR'S CLOSET	VIF	VERIFY IN FIELD
JST	JOIST	W/	WITH
JT	JOINT	W/O	WITHOUT
K	KIP (1000 LB)	WC	WATER CLOSET
KG	KILOGRAM	WP	WORK POINT
KIT	KITCHEN		
LAB	LABORATORY		

GENERAL CONDITIONS

DRAWINGS:

1. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. WHERE NO DIMENSION IS PROVIDED OR WHERE DISCREPANCIES EXIST, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

2. OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH THE WORK.

3. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER ALL DRAWINGS.

4. IF A CONFLICT EXISTS BETWEEN REFERENCED REGULATORY REQUIREMENTS AND THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY OWNER 'S REPRESENTATIVE AND REQUEST THAT THE CONFLICT BE RESOLVED. THE FACT THAT THE CONTRACT DOCUMENTS MAY ESTABLISH HIGHER OR MORE COSTLY REQUIREMENTS THAT THE MINIMUM CODE OR OTHER REGULATORY REQUIREMENTS REFERENCED ABOVE SHALL NOT CONSTITUTE A "CONFLICT".

5.WORK NOT PARTICULARLY DETAILED, MARKED OR SPECIFIED, SHALL BE THE SAME AS SIMILAR WORK THAT IS DETAILED MARKED OR SPECIFIED.

6. NO DEVIATION FROM THE APPROVED DRAWINGS AND SPECIFICATIONS IS PERMITTED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECTS INTERPRETATION OF THESE DOCUMENTS SHALL BE FINAL.

CONTRACTOR'S RESPONSIBILITIES:

1. CONTRACTOR TO PROVIDE ALL WORK AND MATERIALS IN ACCORDANCE WITH THE LATEST REQUIREMENTS AS AMENDED BY ALL STATE AND LOCAL CODES, AND CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, DISABLED ACCESS COMPLIANCE REGULATIONS.

2. CONTRACTOR SHALL MAKE SITE INSPECTIONS AND BE RESPONSIBLE FOR ALL NEW AND DEMOLITION WORK, WHETHER DETAILED BY THE SPECIFICATIONS AND DRAWINGS, OR IMPLIED BY EXISTING CONDITIONS.

3. ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS, AS CONFLICTS WITH ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTIONS OF THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

4. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PROVIDE ALL NECESSARY TEMPORARY UTILITY HOOK-UPS FOR ALL EQUIPMENT DURING CONSTRUCTION.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION/ CAPPING OFF ALL EXISTING UTILITIES AND RE-CONNECTIONS WHERE RE-USE IS POSSIBLE.

6. CONFIRM ALL WINDOW SIZES WITH ACTUAL/ EXISTING ROUGH OPENING DIMENSIONS PRIOR TO ORDERING SIZES.

7. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL SPECIAL INSPECTIONS, INCLUDING BUT NOT LIMITED TO ORDERING INSPECTIONS AND TESTS AS REQUIRED FOR COMPLIANCE WITH SPECIAL INSPECTIONS/BUILDING PERMIT APPROVALS.

8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ALL SOUND TRANSMISSION REQUIREMENTS PER CBC 1206, INCLUDING STC AND IIC RATINGS OF ASSEMBLIES AND EXTERIOR ASSEMBLY REQUIREMENTS FOR EXTERIOR SOUND TRANSMISSION CONTROL.

9. WORK SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER, WITH THE LEAST POSSIBLE DISTURBANCE TO NEIGHBORING TENANTS.

10. CONTRACTOR SHALL PROVIDE DUST COVERS AS REQUIRED TO CONTAIN DUST AND DEBRIS WITHIN THE CONSTRUCTION AREA. BROOM CLEAN ALL AREAS EACH DAY, AND AS NECESSARY THROUGHOUT THE DAY TO MAINTAIN WORK AREA SAFE AND FULLY OPERATIONAL. KEEP DUST AND DEBRIS TO A MINIMUM.

11. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE SAFETY OF ALL PERSONS ON OR ABOUT THE CONSTRUCTION SITE, IN ACCORDANCE WITH APPLICABLE LAWS AND CODES. GUARD ALL HAZARDS IN ACCORDANCE WITH THE SAFETY PROVISIONS OF THE LATEST MANUAL OF ACCIDENT PREVENTION PUBLISHED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA.

12. CONTRACTOR SHALL INFORM THE ARCHITECT & OWNER IN WRITING OF ANY CONDITIONS UNCOVERED IN THE COURSE OF DEMOLITION OR CONSTRUCTION WHICH DEVIATE FROM THE DOCUMENTS, OR WHICH MAY CONSTITUTE A HAZARD DURING OR AFTER CONSTRUCTION. THESE CONDITIONS INCLUDE, BUT ARE NOT LIMITED TO, DRY ROT OR DAMAGE TO EXISTING STRUCTURAL MEMBERS, AND FRAMING MEMBER SIZES OR SPACING WHICH DO NOT CORRESPOND WITH THOSE STATED IN THE DOCUMENTS. THE ARCHITECT SHALL PROVIDE WRITTEN DIRECTION AS HOW TO PROCEED IN EACH CASE.

13. IF THE CONTRACTOR FINDS IT NECESSARY TO DEVIATE FROM THE DOCUMENTS IN ANY MANNER, THE CONTRACTOR SHALL INFORM THE ARCHITECT OR OWNER IN WRITING AND OBTAIN WRITTEN APPROVAL FOR ANY CHANGES PRIOR TO COMMENCING WITH THE WORK.

PROJECT DESCRIPTION

PROPOSE A NEW TWO-STORY SINGLE-FAMILY HOUSE. THE WORK SCOPE INCLUDES ADDING A LIVING ROOM, A KITCHEN, A LAUNDRY, ONE MASTER SUITE, TWO BEDROOMS, AND AN OFFICE. THE TOTAL FLOOR AREA IS 3,183 SQFT. PROPOSE AN ADDITION OF ONE JADU WITH ONE BATH, ONE KITCHEN/DINING, AND ONE BEDROOM. THE JADU FLOOR AREA IS 500 SQFT. NO TREES AND VEGETATION TO BE REMOVED.

PROJECT DATA

PROJECT SITE	465 Benvenue Ave, Los Altos, CA 94024
APN	18953031
OWNER	YIZHOU XU
GENERAL PLAN DESIGNATION	R1-10
LOT SIZE	9,116 SQFT
YEAR BUILT	1948
FLOOD HAZARD ZONE	ZONE X
CONSTRUCTION	TYPE V-B
SPRINKLER	YES

ZONING COMPLIANCE			
	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	2,494 _square feet (27.4 %)	2,526 _square feet (27.8 %)	2,734 _square feet (30 %)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr: 1,825 _sq ft 2nd Flr: / _sq ft Total: 1,825 _sq ft (20 %)	1st Flr: 2,352 _sq ft 2nd Flr: 831 _sq ft Total: 3,183 _sq ft (34.9 %)	3,190 _square feet (35 %)
SETBACKS: Front Rear Right side (1 st /2 nd) Left side (1 st /2 nd)	29.2 feet 56.2 feet 12.9 feet/ _feet 8.9 feet/ _feet	25 _feet 56.8 feet 6 feet/18.2feet 6 feet/16.6feet	25 feet 25 feet 6 feet/13.5feet 6 feet/13.5feet
HEIGHT:	14.9 feet	20.5 feet	27 feet
SQUARE FOOTAGE BREAKDOWN			
	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	1,825 _square feet	877 _square feet	2,702 _square feet
NON- HABITABLE AREA: <i>Does not include covered porches or open structures</i>	669 _square feet	188 _square feet	481 _square feet
LOT CALCULATIONS			
NET LOT AREA:	9,116 _square feet		
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	587 _square feet (42%)		
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 7,054 _sq ft Existing softscape (undisturbed) area: 1,632 _sq ft New softscape (new or replaced landscaping) area: 430 _sq ft <i>Sum of all three should equal the site's net lot area</i>		

GOVERNING CODES

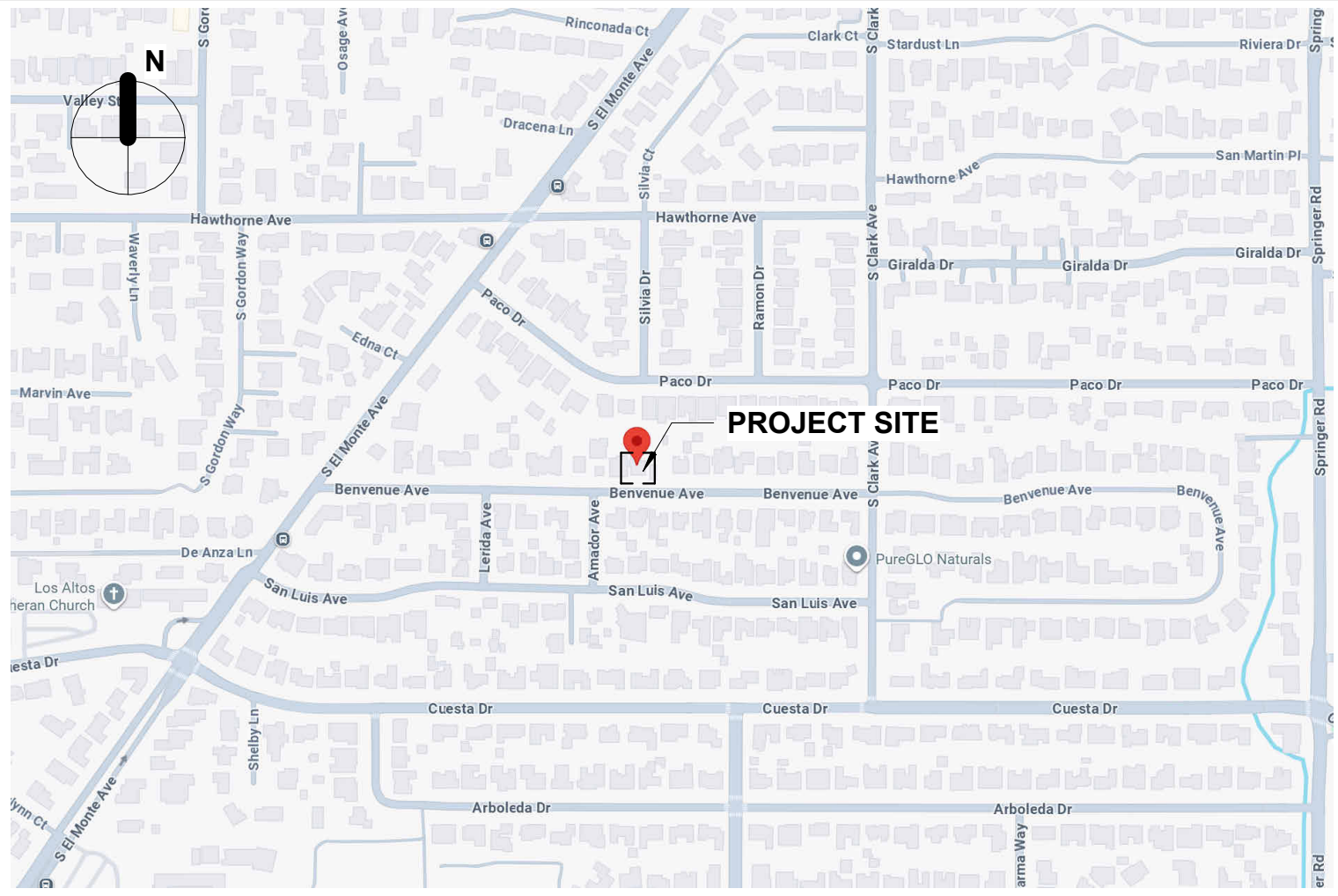
ALL NEW WORK SHALL BE IN STRICT CONFORMANCE WITH THE FOLLOWING CODES & ORDINANCES INCLUDING BUT NOT LIMITED TO:

PART 1:	2022 CALIFORNIA ADMINISTRATIVE CODE
PART 2:	2022 CALIFORNIA BUILDING CODE
PART 2.5:	2022 CALIFORNIA RESIDENTIAL CODE
PART 3:	2022 CALIFORNIA ELECTRICAL CODE
PART 4:	2022 CALIFORNIA MECHANICAL CODE
PART 5:	2022 CALIFORNIA PLUMBING CODE
PART 6:	2022 CALIFORNIA BUILDING ENERGY CODE
PART 8:	2022 CALIFORNIAI HISTORICAL CODE
PART 9:	2022 CALIFORNIA FIRE CODE
PART 10:	2022 CALIFORNIA EXISTING BUILDING CODE
PART 11:	2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen)

NOTHING IN THESE DRAWINGS IS TO BE CONSIDERED TO PERMIT WORK NOT IN CONFORMANCE WITH THESE CODES.

UNLESS OTHERWISE SPECIFIED, SPECIFIC REFERENCES TO CODES, REGULATIONS, STANDARDS, MANUFACTURER'S INSTRUCTIONS, OR REQUIREMENTS OF REGULATORY AGENCIES, WHEN USED TO SPECIFY REQUIREMENTS FOR MATERIALS OR DESIGN ELEMENTS, SHALL MEAN THE LATEST EDITION OF EACH IN EFFECT AT THE DATE OF SUBMISSION OF BIDS, OR THE DATE OF THE CHANGE ORDER OR FILED ORDER, AS APPLICABLE.

LOCATION MAP



STREET VIEW



DRAWING INDEX

SHEET #	SHEET NAME
ARCH	
A0.0	TITLE SHEET
A0.1	GENERAL NOTES
A0.2	SITE PLAN
A0.3	AREA CALCULATION
CIVIL	
C.1	GRADING & DRAINAGE PLAN
C.2	EROSION CONTROL PLAN
C.3	UTILITY COORDINATION PLAN
C.4	DETAILS
X0	SITE SURVEY
ARCH	
A0.4	EXISTING & PROPOSED STREET VIEW
A0.5	EXTERIOR MATERIALS AND COLOR PLAN
A1.0	EXISTING FIRST FLR PLAN
A1.1	PROPOSED FIRST & SECOND FLR PLANS
A1.2	EXISTING & PROPOSED ROOF PLAN
A2.0	EXISTING ELEVATIONS
A2.1	PROPOSED ELEVATIONS
A3.0	SECTIONS
LANDSCAPE	
L-0	COVER
L-1	LANDSCAPE PLAN
L-2	PLANTING PLAN
L-3	WATER EFFICIENT LANDSCAPE WORKSHEET & HYDROZONE PLAN
L-4	IRRIGATION PLAN

PROJECT:

465 BENVENUE

465 BENVENUE AVE,
LOS ALTOS, CA

APN: 18953031

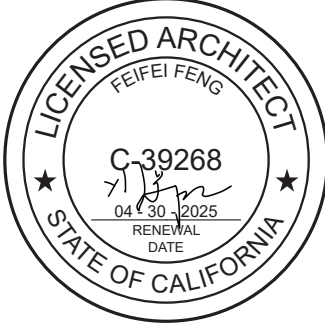
OWNER:
YIZHOU XU
465 BENVENUE AVE
LOS ALTOS, CA 94024
T: 347-601-0719 E: NYLADYACE@GMAIL.COM

ARCHITECTURAL DESIGN:
MOMENT X INC.
2979 21ST ST
SAN FRANCISCO, CA 94110
T: 415.766.8008 E: ADMIN@MOMENTX.STUDIO

CIVIL ENGINEER:
WEC & ASSOCIATES
2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
T: 415.620.8348 FAX: 650.887.1294

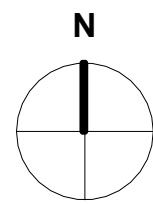
LANDSCAPE:
HOO'S LANDSCAPE DESIGN
TEL: 858.699.9685
EMAIL: LANDSCAPEDESIGNJIZ@GMAIL.COM

SURVEYOR:
ZHEN'S LAND SURVEYING CORP.
WALNUT CREEK, CALIFORNIA
TEL: 415.802.9945
EMAIL: INFO@ZHENSLANDSURVEYING.COM



ISSUE RECORD	Date
R1 Revision 1	2025.12.22

ORIENTATION:



SHEET TITLE:
TITLE SHEET

SET: PLANNING SET

DATE: 12.18.2025

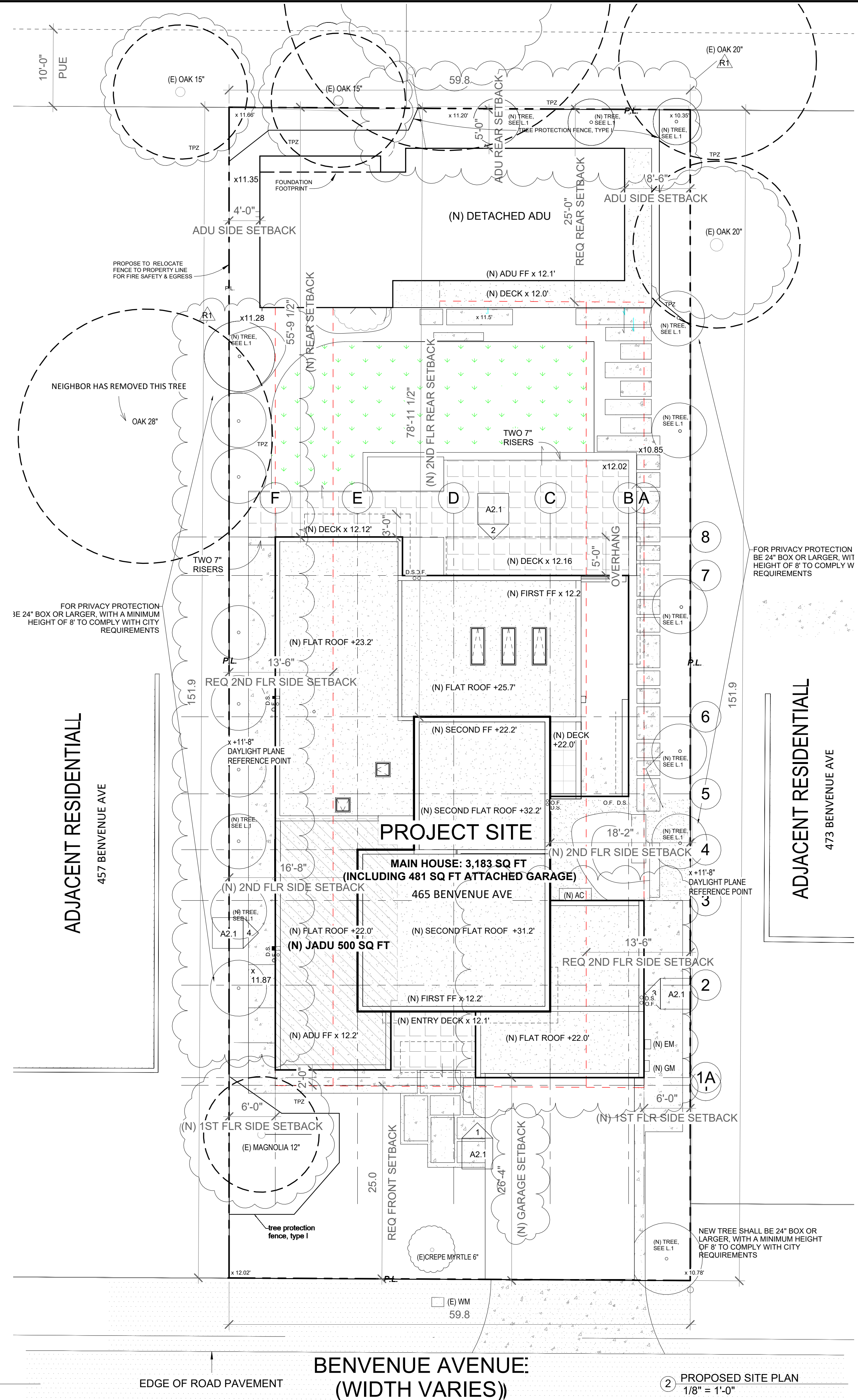
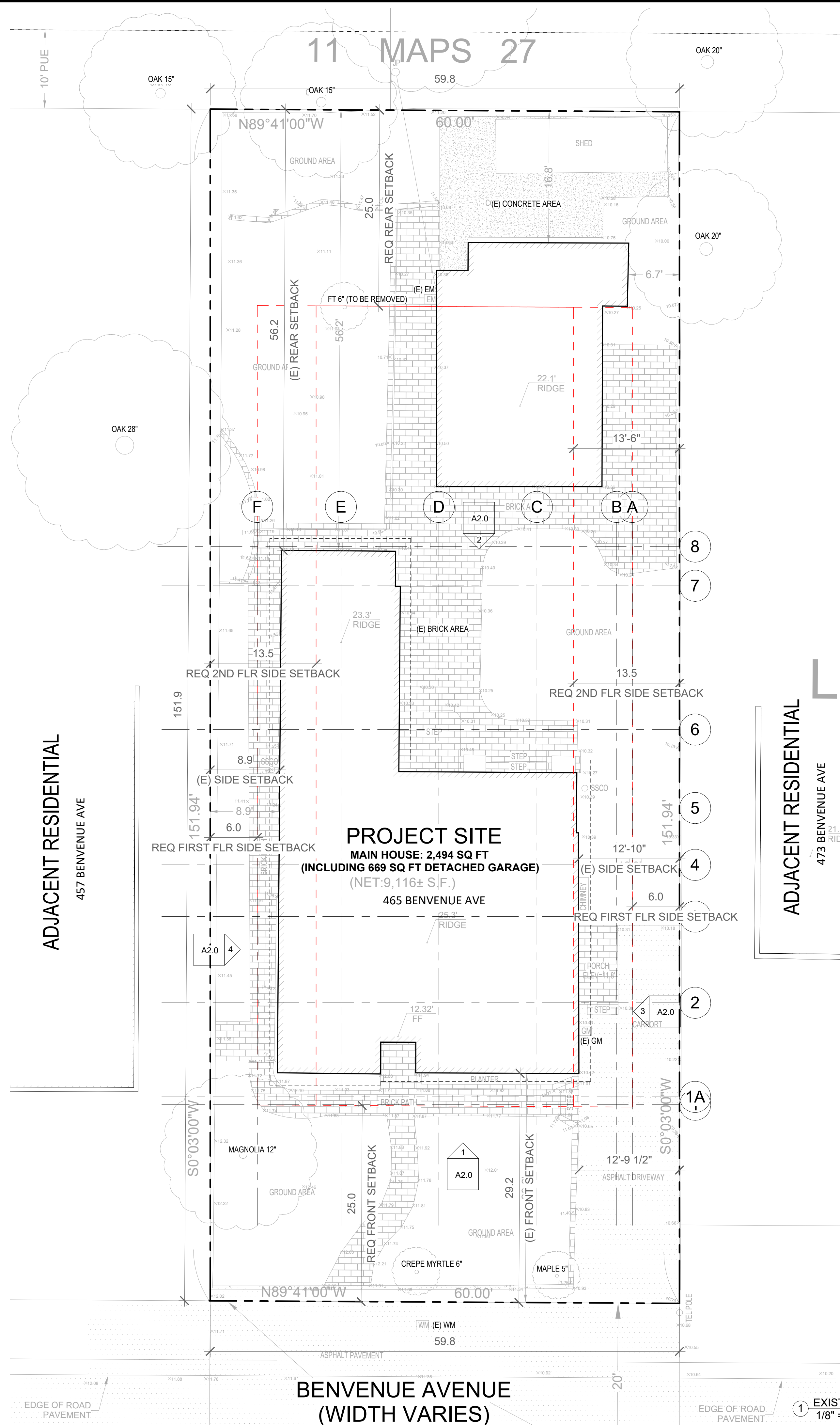
DRAWN: © MOMENT X, 2025

SHEET NO:

A0.0

DEMOLITION DEMOLITION AND SALVAGE: CONTRACTOR SHALL CONTACT OWNER TO DETERMINE ITEMS TO BE SAVED. ONCE SALVAGE HAS BEEN COMPLETED, CONTRACTOR SHALL DEMOLISH AND REMOVE ALL ITEMS SHOWN ON PLANS TO BE DEMOLISHED. GOVERNMENT RECYCLING REQUIREMENTS: CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND PERFORM ALL RECYCLING REQUIREMENTS GOVERNING THE PROJECT PRIOR TO DEMOLITION. DETERMINING EXTENT OF DEMOLITION REQUIRED: CONTRACTOR SHALL THOROUGHLY EXAMINE STRUCTURAL DRAWINGS. CONTRACTOR SHALL DETERMINE IF ADDITIONAL DEMOLITION, NOT SHOWN ON DRAWINGS, ARE REQUIRED TO EXECUTE DESIGN OR STRUCTURAL ASPECTS OF THE PROJECT. IF SUCH DEMOLITION IS REQUIRED, CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM STRUCTURAL ENGINEER. ALTERATIONS AND ADDITIONS: IT IS THE INTENT OF THE DRAWINGS TO MAKE ALTERATIONS AND/OR ADDITIONS MATCH EXISTING. ALL EXISTING COMPONENTS SHOWN TO REMAIN SHALL BE REPAIRED, PATCHED, FILLED, REPAINTED, ETC. TO MATCH EXISTING AND/OR APPEAR AS NEW. ALL TRIM, TEXTURES, COLORS, ETC. SHALL MATCH EXISTING UNLESS OTHERWISE NOTED. CONSTRUCTION WASTE REDUCTION, DISPOSAL & RECYCLING: RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE PER CGC 4.408.1. FOUNDATION AND FLOOR FRAMING - INSTALL TERMITE SHIELDS & SEPARATE ALL EXTERIOR WOOD-TO-CONCRETE CONNECTIONS AT AREAS AFFECTED BY THE PROPOSED WORK. - PROVIDE UFER GROUND ON ALL NEW FOUNDATION AS REQ'D. VERIFY ELECTRICAL SERVICE ENTRY GROUNDING AND BONDING. PROVIDE AN 8-FOOT DRIVEN GROUNDING ROD, 10 FEET OF BURIED METAL PIPE OR UFER GROUND. BOND GROUNDING CONDUCTOR TO METAL PIPES (WATER AND GAS SERVICE) WITH APPROVED CLAMPS. (CEC 250-24 & 250-104) - SLOPE GRADE AWAY FROM FOUNDATION 5% MINIMUM FOR FIRST 10 FEET. - A CAPILLARY BREAK SHALL BE INSTALLED IF SLAB ON GRADE FOUNDATION IS USED. A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" SHALL BE PROVIDED PER CGC 4.504.2 AND CRC R506.2.3. WALL CONSTRUCTION, INSULATION & MOISTURE RESISTANCE - INSULATE ALL EXTERIOR WALLS AND CEILINGS WHICH ARE OPENED UP DURING CONSTRUCTION. - EXTERIOR AND INTERIOR WALLS SHALL BE 2x4 @ 16" O.C. OR AS INDICATED ON STRUCTURAL DRAWINGS. - EXTERIOR FINISH SHALL BE INSTALLED OVER 2-LAYERS GRADE "D" BUILDING PAPER OVER PLYWOOD OR OSB SHEATHING, AND A 26 GAUGE GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4 INCHES ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING). INSTALL ALL PRODUCTS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. - PROVIDE 1/2" GYPSUM BOARD AT INTERIOR WALLS AND 5/8" GYPSUM BOARD AT INTERIOR CEILINGS. FINISH PER PLAN OR MATCH EXISTING, TYP. - MOISTURE RESISTANT DRYWALL MUST BE INSTALLED AT ALL WET LOCATIONS, AND MUST BE INSTALLED TO A POINT A MINIMUM OF 72" ABOVE THE SHOWER DRAIN. DO NOT INSTALL A VAPOR BARRIER BEHIND GREEN BOARD. DO NOT INSTALL GREEN BOARD ON CEILING UNLESS CEILING JOISTS ARE NO GREATER THAN 12" APART. - WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES ABOVE EXPOSED EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD. - PROVIDE VAPOR BARRIER BETWEEN CEMENT BOARD AND DRYWALL AND/OR FRAMING. CORROSION RESISTANT FASTENERS MUST BE USED. - BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE CHECKED PRIOR TO FINISH MATERIAL APPLICATION PER CGC 4.505.3. DOORS, WINDOWS & EGRESS - ALL EXTERIOR DOORS SHALL HAVE A MAXIMUM THRESHOLD STEP OF 7-3/4" AT INWARD SWING DOORS OR SLIDERS. ALL EXTERIOR DOORS SHALL HAVE A MAXIMUM THRESHOLD STEP OF 3/4" AT OUTWARD SWING DOORS, WITH LANDING DEPTH GREATER THAN OR EQUAL TO 36". - PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS INCLUDING BUT NOT LIMITED TO: GLASS DOORS, GLASS WINDOWS WITHIN 18" OF FINISHED FLOOR, WITHIN 24" OF OPERABLE DOORS AND LESS THAN 60" ABOVE STANDING SURFACE OR DRAIN INLET, AND AT TUB, SHOWER AND OTHER BATHING ENCLOSURES. IDENTIFICATION SHALL BE LABELED ACCORDING TO CODE. - HABITABLE BASEMENTS, ATTICS, AND BEDROOMS SHALL HAVE EGRESS WINDOWS WITH 44" MAX. SILL HEIGHT ABOVE FINISH FLOOR, AND MIN. 5.7 SQ. FT. NET CLEAR OPENING AREA. EXCEPTION: GROUND FLOOR WINDOW OPENINGS NOT GREATER THAN 44" ABOVE OR BELOW FINISHED GRADE LEVEL CAN HAVE MIN. 5.0 SQ. FT. NET CLEAR OPENING AREA. EGRESS WINDOWS SHALL HAVE MIN. 24" NET CLEAR OPENING HEIGHT, AND MIN. 20" NET CLEAR OPENING WIDTH. - DOOR FROM GARAGE TO RESIDENCE SHALL BE 20 MINUTE RATED OR 1-3/8" SOLID WOOD DOOR, AND SHALL BE SELF CLOSING AND SELF LATCHING WITH FULL PERIMETER WEATHERSTRIPPING. RODENT PROOFING - ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATE AT EXTERIOR WALLS SHALL BE RODENT PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHODS ACCEPTABLE TO ENFORCING AGENCY PER CGC 4.406.1. PAINTS & FINISHES - EXTERIOR: PATCH, PREP & PAINT NEW WORK AT EXTERIOR OF HOUSE, COLORS TO MATCH EXISTING U.O.N. - INTERIOR: PATCH, PREP & PAINT ALL ROOMS & AREAS WHERE CONSTRUCTION WORK OCCURS. COLORS TO MATCH EXISTING OR BE SELECTED BY DESIGNER. - PROVIDE PRIMER & MINIMUM TWO COATS IF BRUSHED, OR THREE COATS IF SPRAYED. APPLY ADDITIONAL COATS IF NEEDED TO PROVIDE A UNIFORM FINISH IN COLOR & APPEARANCE. - FINISH MATERIALS SHALL COMPLY WITH CGC 4.504.2.1 THROUGH 4.504.5.1. - ADHESIVES, SEALANTS AND CAULKS SHALL MEET REQUIREMENTS OF STANDARDS LISTED IN CGC 4.504.2.1. - PAINTINGS AND COATINGS SHALL COMPLY WITH VOC LIMITS PER CGC 4.504.2.2. - AEROSOL PAINTS AND COATING SHALL MEET PRODUCT-WEIGHTED MIR LIMITS FOR VOC AND OTHER REQUIREMENTS PER CGC 4.504.2.4. - ALL CARPET INSTALLED IN BUILDING INTERIOR SHALL MEET TESTING AND PRODUCT REQUIREMENT PER CGC 4.504.3. CARPET CUSHION AND ADHESIVE ALSO MUST COMPLY. - HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS PER CGC 4.504.5. - DOCUMENTATIONS SHALL BE PROVIDED, AT REQUEST OF BUILDING DIVISION, TO VERIFY COMPLIANCE WITH VOC FINISH MATERIALS PER CGC 4.504.2.4. THERMAL & MOISTURE PROTECTION - ALL FLASHING, SADDLES & ROOF JACKS, ETC. TO BE 24 GAUGE GALVANIZED SHEET METAL. FABRICATE & INSTALL PER SMACNA RECOMMENDATIONS. CLEAN, PRIME & PAINT. NOTE: CAUTION MUST BE TAKEN NOT TO PLACE FLASHING IN DIRECT CONTACT WITH DISSIMILAR METALS AND/OR WOOD WITH ACID CONTENT THAT CAUSE ELECTROLYSIS (GALVANIC CORROSION OF A LESS "NOBLE" METAL). USE A RELIABLE SEPARATION MATERIAL WHERE CONTACT IS UNAVOIDABLE. - INSTALL FLASHING & COUNTER FLASHING PER SMACNA RECOMMENDATIONS. - ALL EXTERIOR WALL OUTLETS, DOORS, WINDOWS AND PENETRATIONS SHALL BE INSPECTED AND HOLES FILLED WITH LOW-VOC CAULKING OR EXPANDABLE FOAM UTILITIES.	KITCHEN - ALL LIGHTING SHALL BE LED OR HIGH EFFICACY. - HOT WATER PIPES TO KITCHEN SHALL BE INSULATED. - COUNTERTOP RECEPTACLE LOCATIONS SHALL COMPLY W/ CEC 210.52(C)(1), MAX. 12" FROM END OF COUNTER, MAX. 48" SPACING, AND MAX 24" FROM RANGE OR SINK EDGES. - TWO OR MORE 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED TO SERVE COUNTERTOP AND WALL RECEPTACLES IN KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREAS. NO BUILT-IN APPLIANCES ARE ALLOWED ON THESE CIRCUITS. CEC 210.11(A). - DEDICATED CIRCUITS ARE REQUIRED FOR GARBAGE DISPOSAL, MICROWAVE, TRASH COMPACTOR, AND DISHWASHER. CEC 210.119(A)(1)(B). - KITCHEN FAUCET SHALL BE 1.8 GPM MAXIMUM AT 60 PSI. - DISHWASHER SHALL USE LESS THAN OR EQUAL TO 6.56 GPM MAX OR ENERGY STAR COMPLIANT. - EACH KITCHEN REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM. RANGE HOOD OVER STOVE MAY BE USED TO MEET THIS REQUIREMENT, PROVIDED RANGE HOOD VENTS DIRECTLY TO OUTSIDE. RE-CIRCULATING RANGE HOODS CANNOT BE USED. DUCTING FOR EXHAUST FAN SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1. NOISE LEVEL OF EXHAUST FAN CANNOT EXCEED 3.0 SONES WHEN OPERATING AT 100 CFM. GARAGE - SLOPE GARAGE SLAB 1% TO DOOR. - DOOR FROM GARAGE TO RESIDENCE SHALL BE 20 MINUTE RATED OR 1-3/8" SOLID WOOD DOOR, AND SHALL BE SELF CLOSING AND SELF LATCHING WITH FULL PERIMETER WEATHERSTRIPPING. - ALL ELECTRICAL OUTLETS TO BE GFCI, INSTALLED 54" ABOVE FLOOR FINISH, TYPICAL U.O.N. 1/2" GYP. BOARD ON GARAGE SIDE OF COMMON WALL FROM FOUNDATION TO CEILING AND ON GARAGE CEILING, TYPICAL. 5/8" TYPE 'X' GYP. BD. ON GARAGE CEILING WITH HABITABLE SPACE ABOVE. CRC TABLE R302.5. BATHROOMS (SEE PLUMBING NOTES FOR ADD'L INFO.) - BATHROOM FIXTURES, ACCESSORIES & FINISHES TO BE APPROVED BY OWNER. - SHOWERHEADS SHALL HAVE MAXIMUM FLOW OF 1.8 GPM PER CPC 408.2. WHEN MORE THAN ONE SHOWER HEAD IS USED FOR THE SAME SHOWER, TOTAL MAXIMUM FLOW OF ALL SHOWERHEADS SHALL NOT EXCEED 1.8 GPM. - SHOWER AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF PRESSURE BALANCE, THERMOSTATIC OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE, ADJUSTED TO MAXIMUM OF 120 DEGREES. CPC 408.3. - BATHROOM LAVATORY FAUCETS SHALL HAVE MAXIMUM FLOW RATE OF 1.2 GPM PER CPC 407.2.1.2. - TOILET SHALL BE 1.28 GAL/FLUSH MAXIMUM OR DUAL FLUSH, PER CPC 411.2. TOILETS SHALL HAVE A MINIMUM 15 INCHES WIDE CLEAR SPACE FROM CENTER TO ANY SIDE WALL OR OBSTRUCTION, AND EXTEND AT LEAST 24 INCHES IN FRONT OF THE TOILET TO ANY OBSTRUCTION. - SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM INTERIOR FLOOR AREA OF 1,024 SQUARE INCHES, AND ALSO CAPABLE OF ENCOMPASSING A 30-INCH DIA. CIRCLE. THE AREA AND DIMENSION SHALL BE MAINTAINED UP TO 70 INCHES ABOVE SHOWER DRAIN INLET. MINIMUM REQUIRED AREA SHALL NOT APPLY WHERE AN EXISTING BATHTUB IS REPLACED BY A SHOWER RECEPTOR WITH MIN. 30" WIDTH AND MIN. 60" LENGTH. - A LISTED ANTI-SCALD PRESSURE BALANCE VALVE SHALL BE INSTALLED AT SHOWER COMPARTMENTS. - SHOWER DRAIN PIPES MUST BE A MINIMUM OF 2" DIAMETER. - PLASTIC SHOWER LINERS AND UNDERLAYMENT SHALL SLOPE A MINIMUM OF 1/4" PER FOOT TO DRAIN AND BE WRAPPED UP WALL 3" MINIMUM ABOVE DRAIN. WATER TEST ASSEMBLY TO VERIFY THAT PAN DOES NOT LEAK AND WEEP HOLES ARE DRAINING CORRECTLY. - NEW PLUMBING SHALL BE TESTED WITH 10' HEAD OF WATER ABOVE THE HIGHEST FIXTURE OR AN AIR TEST OF 5 LBS. - SHOWER AND TUB/SHOWER WALLS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE (CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72" INCHES ABOVE THE DRAIN INLET. WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. CRC R307.2 & R702.4. - DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED OR LAMINATED. ELECTRICAL REQUIREMENTS @ BATHROOMS: - ALL BATHROOMS LIGHTING SHALL BE HIGH EFFICACY LED LUMINAIRES. AT LEAST ONE FIXTURE MUST BE CONTROLLED BY VACANCY SENSOR. - LUMINAIRES LOCATED OVER TUB OR SHOWER SHALL BE LISTED FOR DAMP OR WET LOCATIONS RESPECTIVELY.
--	---

[illegible]



PROJECT:

465 BENVENUE

465 BENVENUE AVE,
LOS ALTOS, CA

APN: 18953031

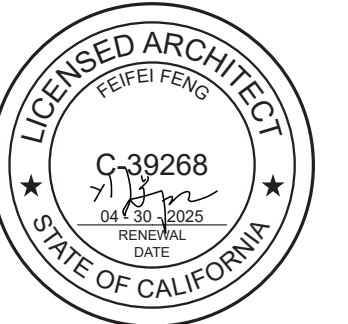
OWNER:
YIZHOU XU
465 BENVENUE AVE
LOS ALTOS, CA 94024
T: 347-601-0719 E: MYLADYACE@GMAIL.COM

ARCHITECTURAL DESIGN:
MOMENT X INC.
2979 21ST ST
SAN FRANCISCO, CA 94110
T: 415.766.8008 E: ADMIN@MOMENTX.STUDIO

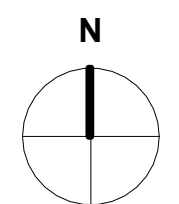
CIVIL ENGINEER:
WEC & ASSOCIATES
2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: 650.823.6466 FAX: 650.887.1294

LANDSCAPE:
HOO'S LANDSCAPE DESIGN
TEL: 858.699.9685
EMAIL: LANDSCAPEDESIGNJZ@GMAIL.COM

SURVEYOR:
ZHEN'S LAND SURVEYING CORP.
WALNUT CREEK, CALIFORNIA
TEL: 415.802.9945
EMAIL: INFO@ZHENSLANDSURVEYING.COM

[illegible]

ORIENTATION:



SHEET TITLE:
SITE PLAN

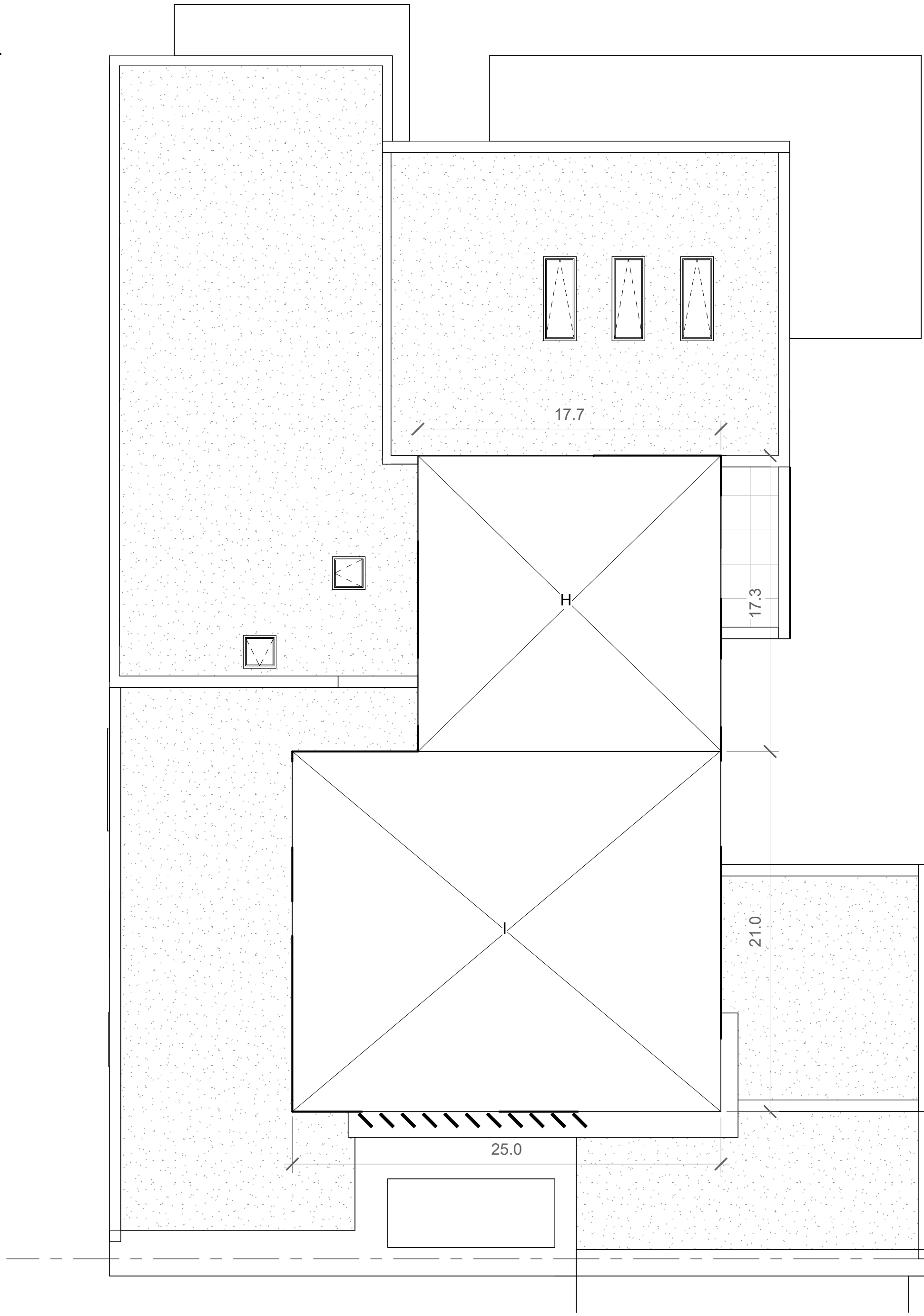
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DATE:	12.18.2025
DRAWN:	© MOMENT X, 2025

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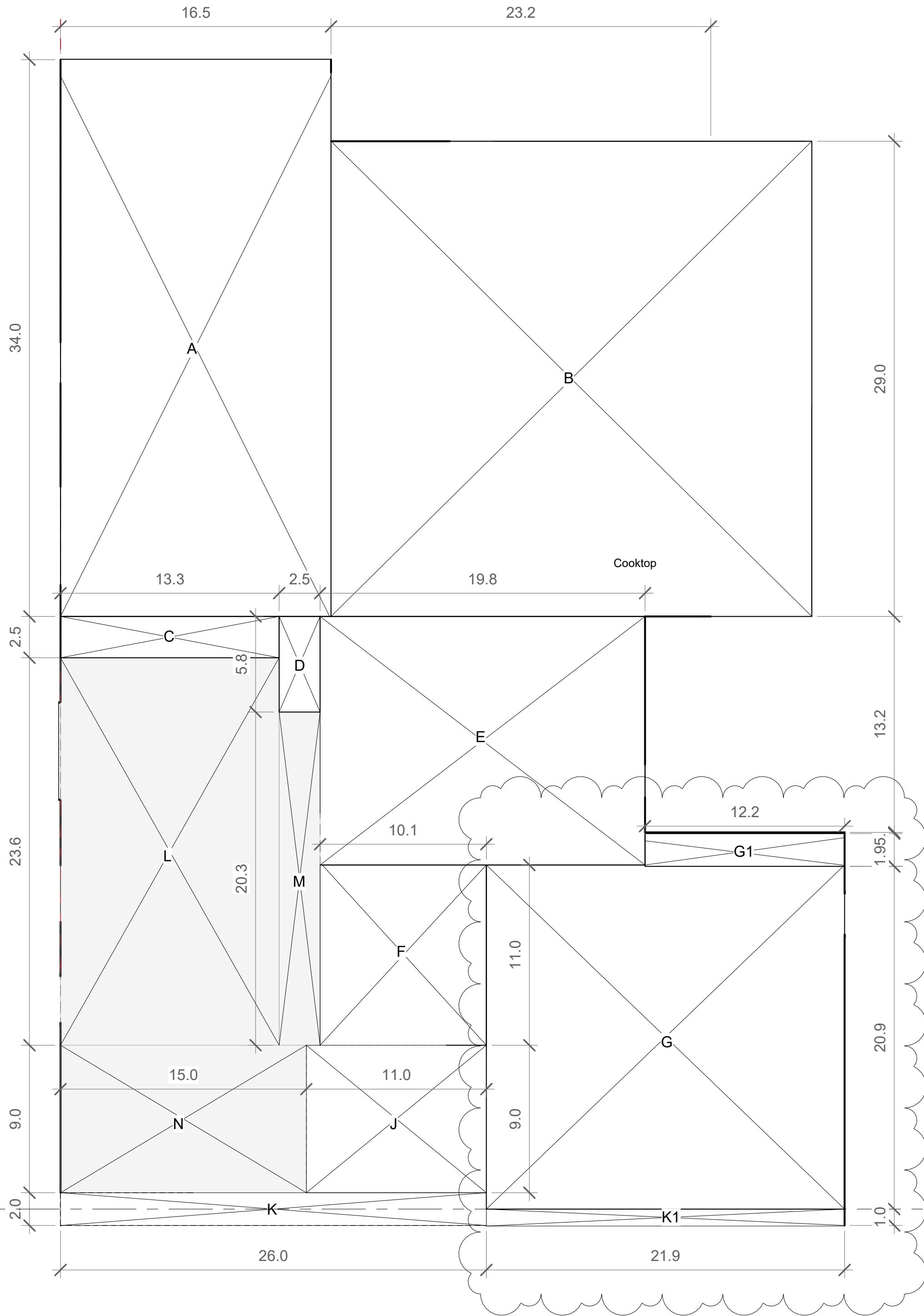
A0.2

FLOOR AREA AND LOT COVERAGE CALCULATIONS

SECTION	DIMENSIONS	AREA
A	16.5' x 34.0'	561.0 SQFT
B	29.3' x 29.0'	849.7 SQFT
C	13.3' x 2.5'	33.2 SQFT
D	2.5' x 5.8'	14.5 SQFT
E	19.8' x 15.2'	301.0 SQFT
F	10.1' x 11.0'	111.1 SQFT
G	21.9' x 20.9'	457.7 SQFT
G1	12.2' x 1.95'	23.18 SQFT
FIRST FLOOR SUBTOTAL		2,352 SQFT
H	17.7' x 17.3'	306.2 SQFT
I	25.0' x 21.0'	525.0 SQFT
SECOND FLOOR SUBTOTAL		831 SQFT
TOTAL FLOOR AREA		3,183 SQFT
J	11.0' x 9.0'	99.0 SQFT
K	26.0' x 2.0'	52.0 SQFT
K1	21.9' x 1.0'	21.9 SQFT
TOTAL LOT COVERAGE		2,526 SQFT
L	13.3' x 23.6'	313.9 SQFT
M	2.5' x 20.3'	50.8 SQFT
N	15.0' x 9.0'	135.0 SQFT
JADU FLOOR AREA		500 SQFT



② SECOND FLOOR AREA CALC
3/16" = 1'-0"



① FIRST FLOOR AREA CALC
3/16" = 1'-0"

PROJECT:

465 BENVENUE

465 BENVENUE AVE,
LOS ALTOS, CA

APN: 18953031

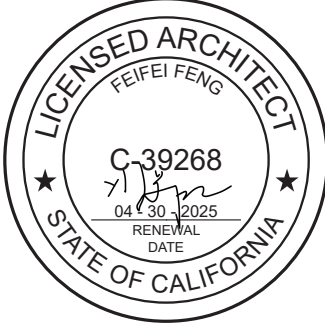
OWNER:
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465 BENVENUE AVE
LOS ALTOS, CA 94024
T: 347-601-0719 E: MYLADYACE@GMAIL.COM

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SAN FRANCISCO, CA 94110
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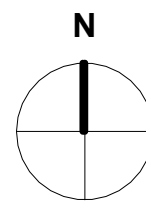
LANDSCAPE:
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TEL: 415.802.9945
EMAIL: INFO@ZHENSLANDSURVEYING.COM



ISSUE RECORD
R1 Revision 1 Date 2025.12.22

ORIENTATION:



SHEET TITLE:
AREA
CALCULATION

SET: PLANNING SET
DATE: 12.18.2025
DRAWN: © MOMENT X, 2025

SHEET NO:

A0.3

GRADING AND DRAINAGE NOTES:

1. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444 PRIOR TO EXCAVATION.
2. THE SITE SHALL BE FINE GRADED TO PROVIDE A MINIMUM OF 5% ACROSS VEGETATED OR DIRT AREA AND 2% ACROSS HARDSCAPED AREA, AWAY FROM THE BUILDING PERIMETER. EXISTING DRAINAGE COMING FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.
3. UNLESS SHOWN ON THE PLAN OTHERWISE, HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT DEFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND GUTTER SHALL BE GALV. SHEET METAL.
4. AN ENCROACHMENT PERMIT IS REQUIRED FOR WORK IN THE PUBLIC RIGHT OF WAY IN THE CITY OF LOS ALTOS. CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY HOLDS AN INTEREST.
5. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
6. IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND/OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE DEWATERING OF THE EXCAVATION MUST BE DESIGNED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS-ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

GENERAL NOTES

5

AB	AGGREGATE BASE	GB	GRADE BREAK
AC	ASPHALT CONCRETE	GM	GAS METER
AD	AREA DRAIN	GR	GRATE ELEVATION
BW	BOTTOM OF WALL	HP	HIGH POINT
CB	CATCH BASIN	INV	INVERT ELEVATION
CIP	CAST IRON PIPE	JT	JOINT TRENCH
CL	CENTER LINE	JP	JOINT POLE
CONC	CONCRETE	LD	LANDSCAPE DRAIN
CS	CRAWL SPACE ELEV.	LF	LINEAR FEET
DD	DECK DRAIN	(N)	NEW
DIP	DUCT IRON PIPE	RIM	RIM ELEVATION
DS	DOWNSPOUT	S	SLOPE
DWY	DRIVEWAY	SD	STORM DRAIN LINE
(E)	EXISTING	SDCO	STORM DRAIN CLEANOUT
EG	EXISTING GRADING	SDFM	STORM DRAIN FORCED MAIN
EM	ELECTRICAL METER	SS	SANITARY SEWER
EP	EDGE OF PAVEMENT	SSCO	SANITARY SEWER CLEANOUT
FF	FINISH FLOOR ELEVATION	TW	TOP OF WALL ELEVATION
FG	FINISHED GROUND ELEV.	TYP	TYPICAL
FP	FINISHED PAVEMENT	W	DOMESTIC WATER LINE
FS	FINISH SURFACE ELEV	WM	WATER METER

ABBREVIATION

4

—SS—	SANITARY SEWER	—SL—	STREET LIGHT
—E—	ELECTRIC	—IRR—	IRRIGATION
—TV—	TV/CABLE TV	—X—	FENCE
—FS—	FIRE SERVICE	—JT—	JOINT TRENCH
—W—	DOMESTIC WATER	—O/H—	OVERHEAD WIRES
—T—	TELEPHONE	×16.07	(E) SPOT ELEVATION
—G—	NATURAL GAS	×16.07	(N) SPOT ELEVATION
—FM—	FORCE MAIN		
DS	SPLASH BLOCK, MIN. 2 FEET LONG DEFLECT THE WATER AWAY FROM BOTH BLDG.		
DS	DOWNSPOUT		

LEGEND

3

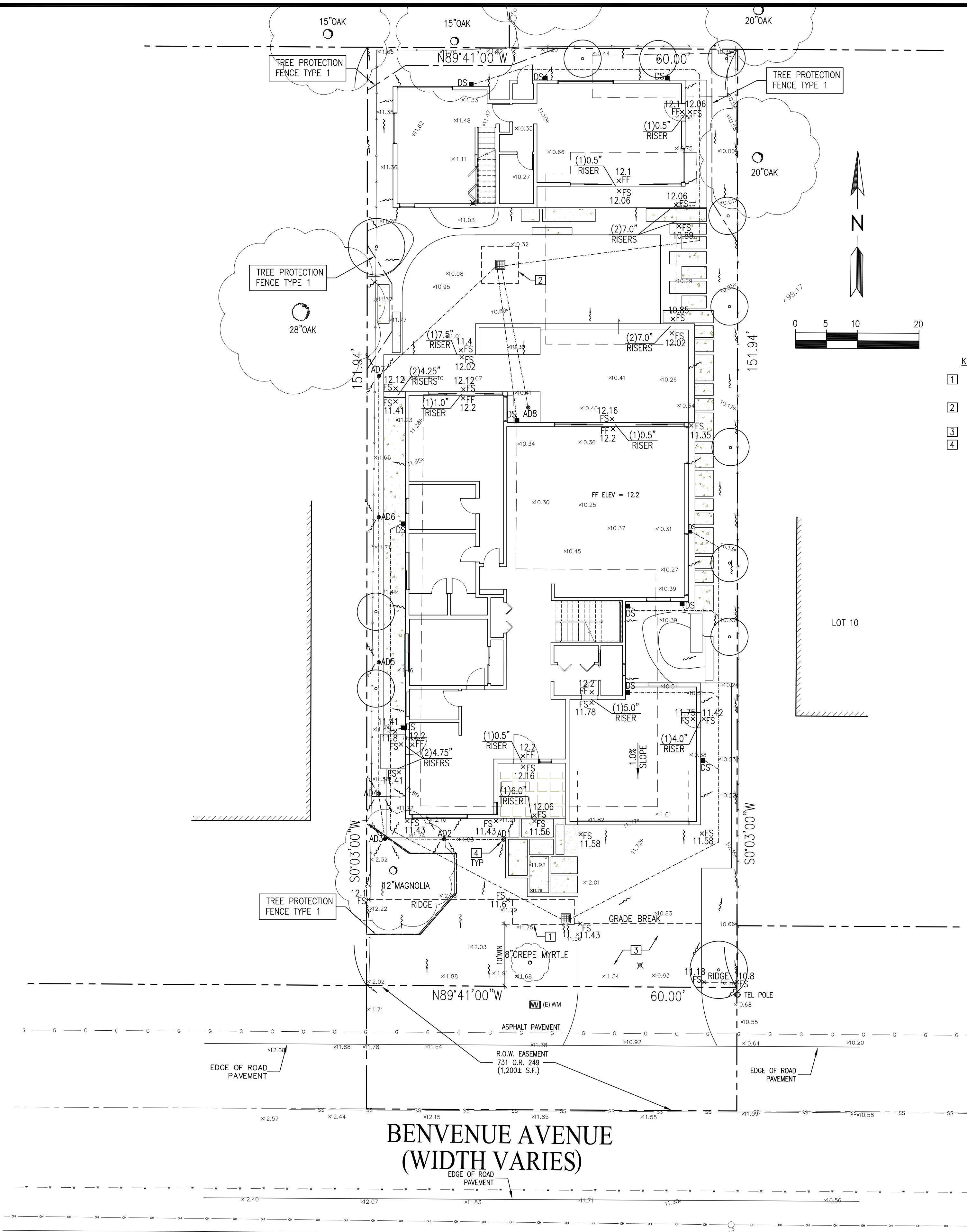
EARTHWORK QUANTITIES:

CUT(OUTSIDE BLDG FOOTPRINT)	20 C.Y.
CUT(INSIDE BLDG FOOTPRINT)	210 C.Y.
FILL	25 C.Y.
BALANCE	205 C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

CUT AND FILL EST.

2



KEY NOTES

- INFILTRATION DEVICE, 10'X4', 3' DEEP, GR=11.43, SEE 5/C.4
- INFILTRATION DEVICE, 6'X6', 3' DEEP, GR=10.7, SEE 5/C.4
- SLOPE DRIVEWAY TOWARDS THE LANDSCAPED AREA
- AREA DRAIN (AD). SEE 4/C.4. SEE DRAINAGE FEATURE TABLE FOR RIM AND INV ELEV.

PROPERTY LINE

4" SOLID PVC SD LINE
2" SOLID PVC FORCED SD LINE
GRADE BREAK

DRAINAGE FEATURE TABLE

FEATURE	RIM	INV
AD1	11.35	9.85
AD2	11.35	9.75
AD3	11.35	9.65
AD4	11.35	9.55
AD5	11.35	9.45
AD6	11.35	9.35
AD7	11.35	9.25
AD8	NOTE1	NOTE1

NOTE1: RIM AND INV TO BE DETERMINED IN THE FIELD

NOTE:

1) ANY DAMAGED RIGHT OF WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT 650-947-2680

2) PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

GRADING AND DRAINAGE PLAN

SCALE:1"=10'

1

XU & DENG
RESIDENCE

465 BENVENUE AVENUE
LOS ALTOS, CA
APN: 189-53-031

W E C
& ASSOCIATES

2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: AUG 21, 2025
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:

GRADING &
DRAINAGE
PLAN

SHEET NO.

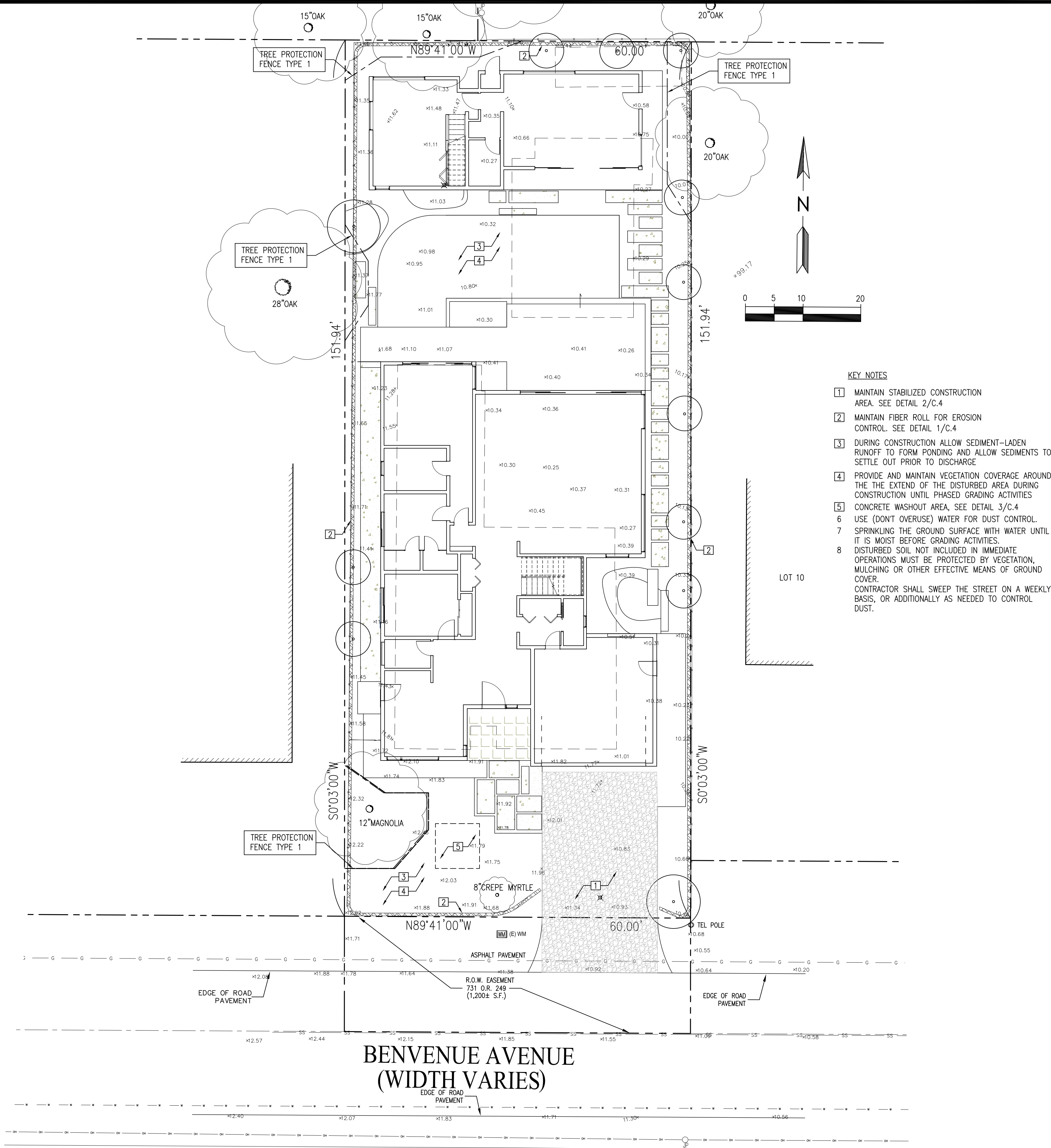
C.1

EROSION CONTROL AND BEST MANAGEMENT PRACTICE:

1. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN/NOTES, IF PROVIDED, ARE MINIMUM REQUIREMENTS, THE FULL EXTENTS OF WHICH ARE TO BE DETERMINED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
3. THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS FOLLOWING EACH STORM AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
4. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
5. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTER, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
6. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE PUBLIC RIGHT-OF WAY IS PERMITTED.
7. PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES. PROVIDE ROCKED DRIVEWAY FOR SITE ACCESS DURING CONSTRUCTION.

GENERAL NOTES

2



EROSION CONTROL PLAN SCALE:1"=10'

1

XU & DENG
RESIDENCE

465 BENVENUE AVENUE
LOS ALTOS, CA
APN: 189-53-031

W E C
& ASSOCIATES

WEC 2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

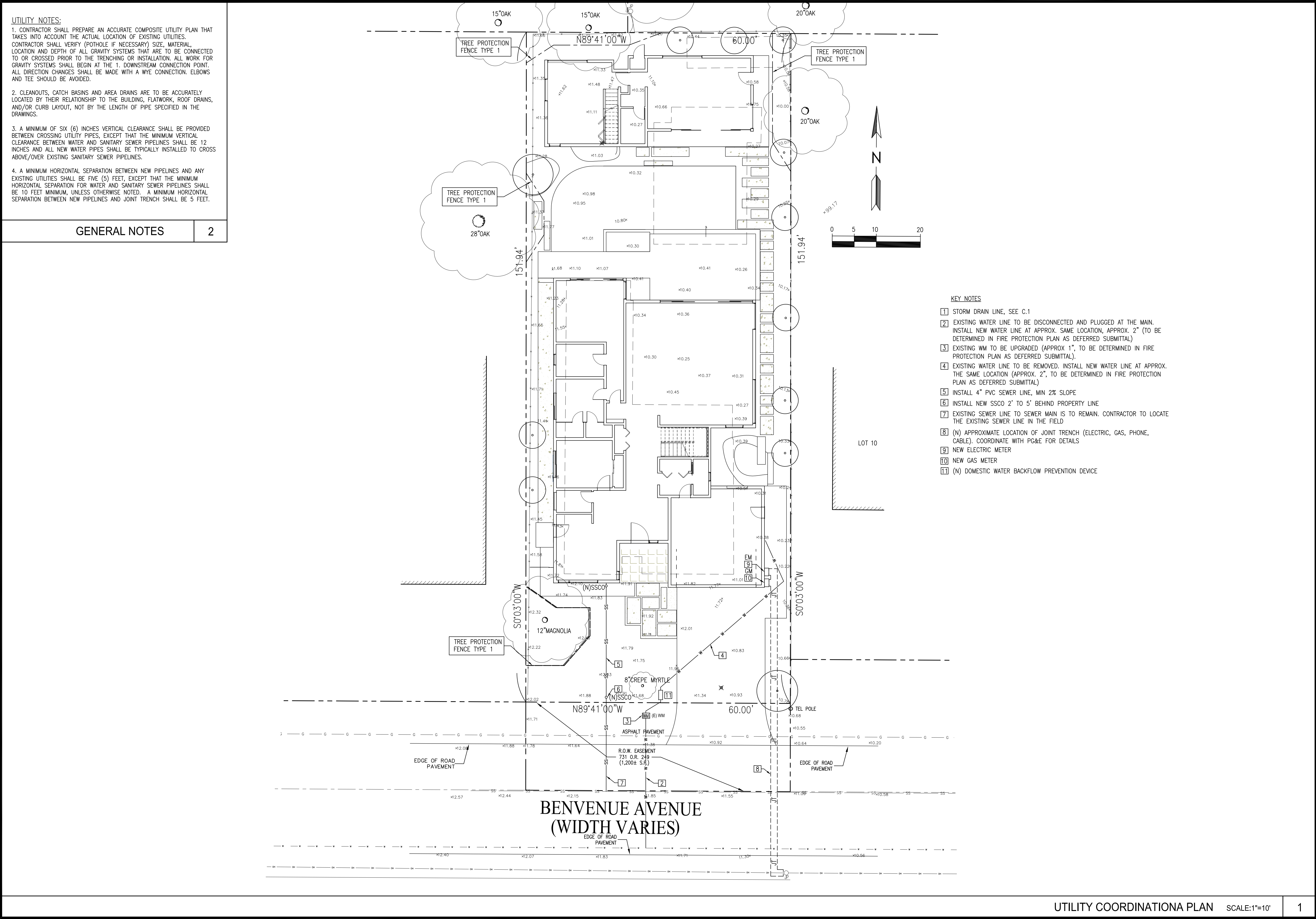
DATE: AUG 21, 2025
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:

EROSION
CONTROL
PLAN

SHEET NO.

C.2



XU & DENG
RESIDENCE

465 BENVENUE AVENUE
LOS ALTOS, CA
APN: 189-53-031

W E C
& ASSOCIATES

WEC 2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
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LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: AUG 21, 2025
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:

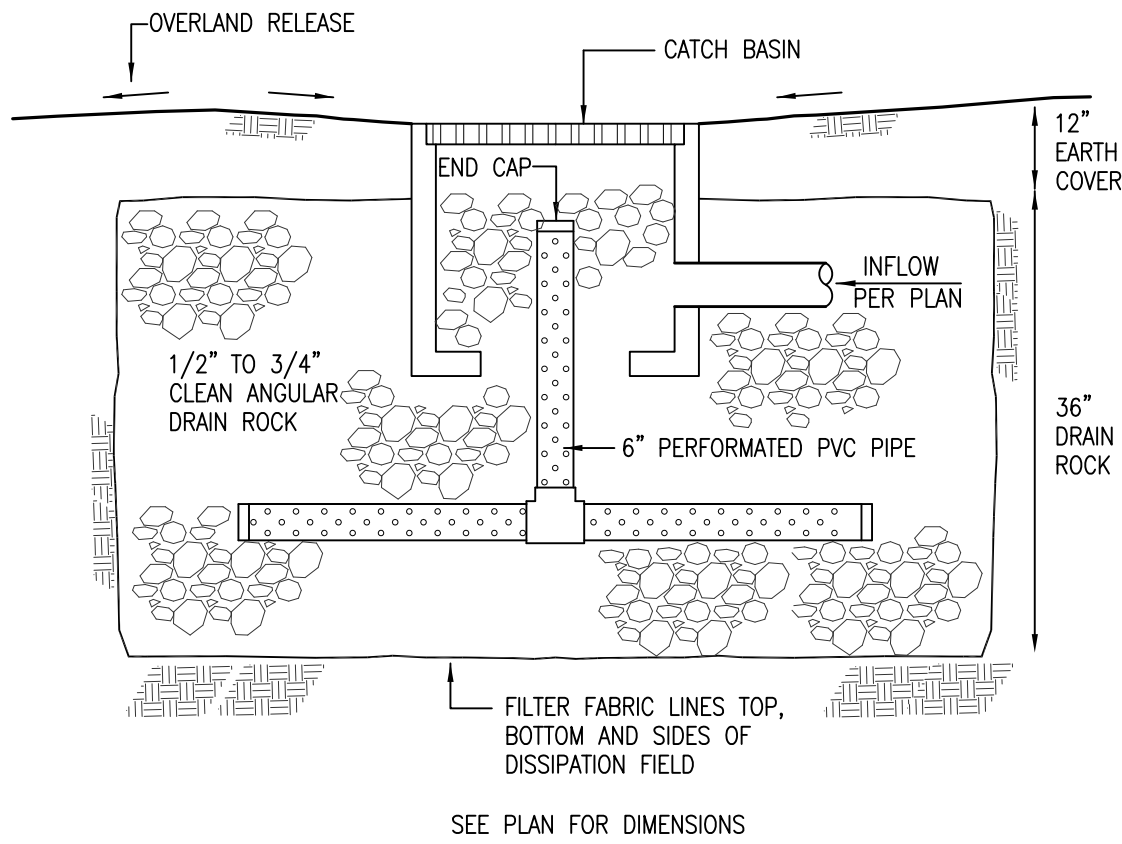
UTILITY
COORDINATION
PLAN

SHEET NO.

C.3

UTILITY COORDINATIONA PLAN SCALE:1"=10'

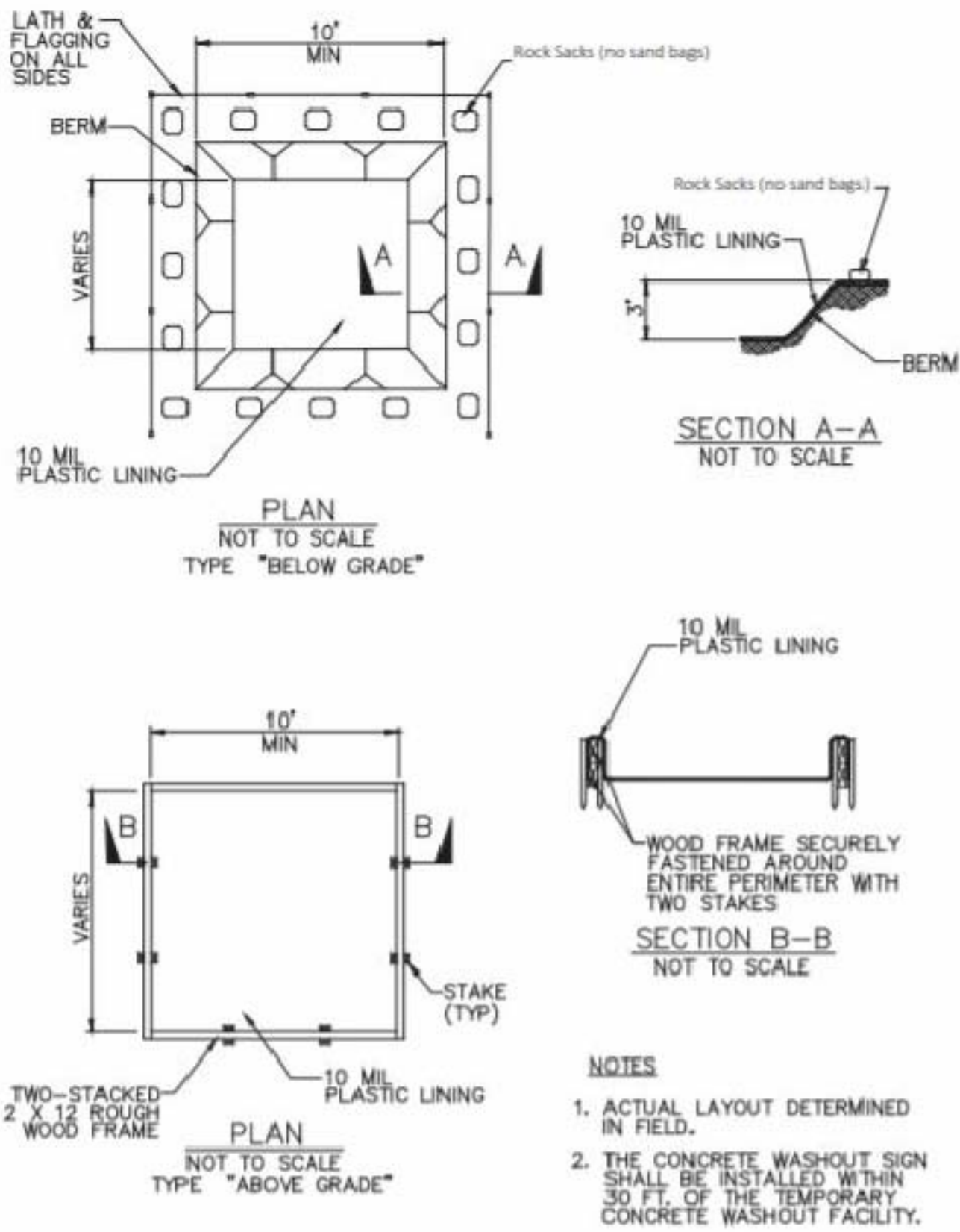
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INFILTRATION DEVICE

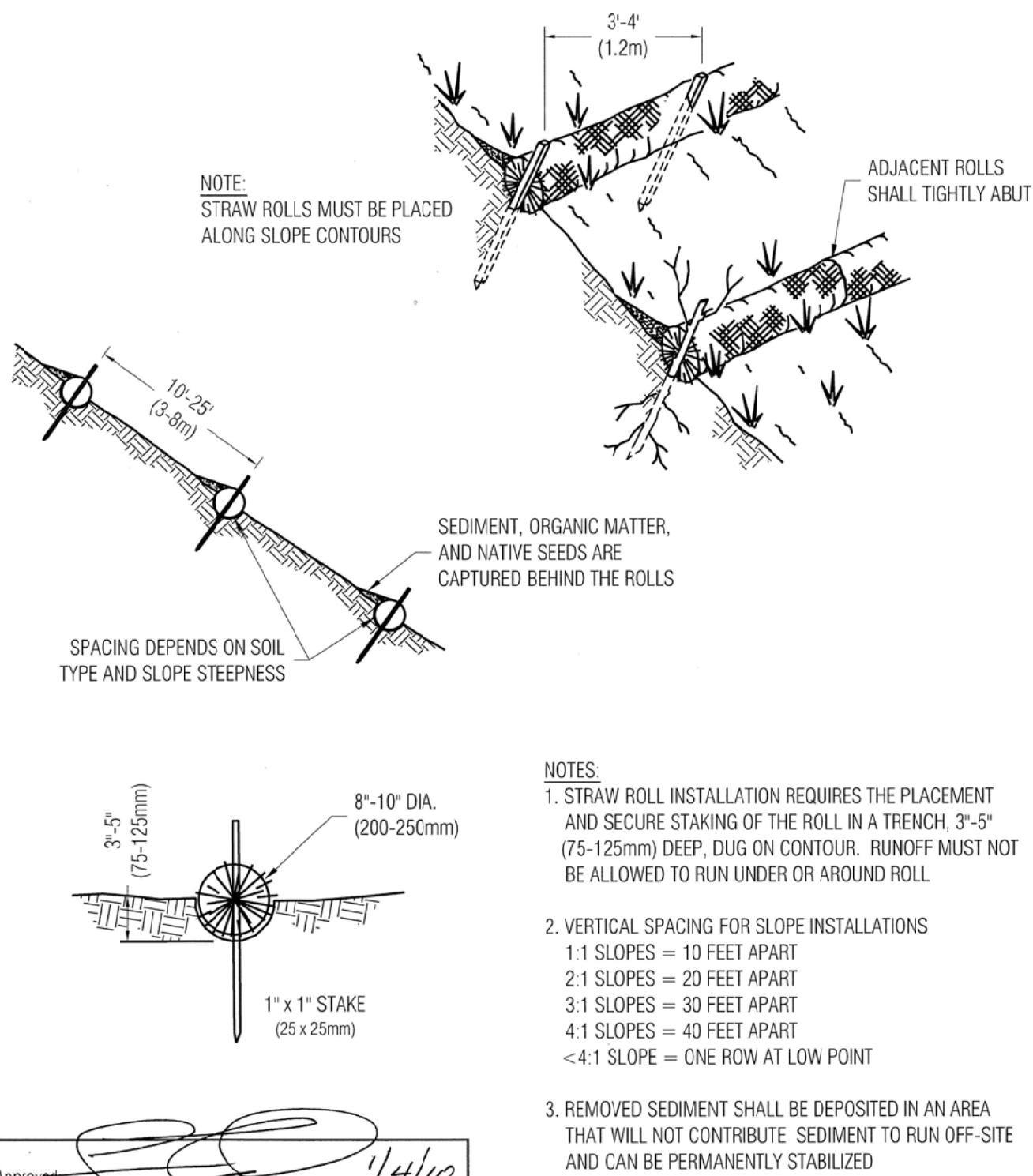
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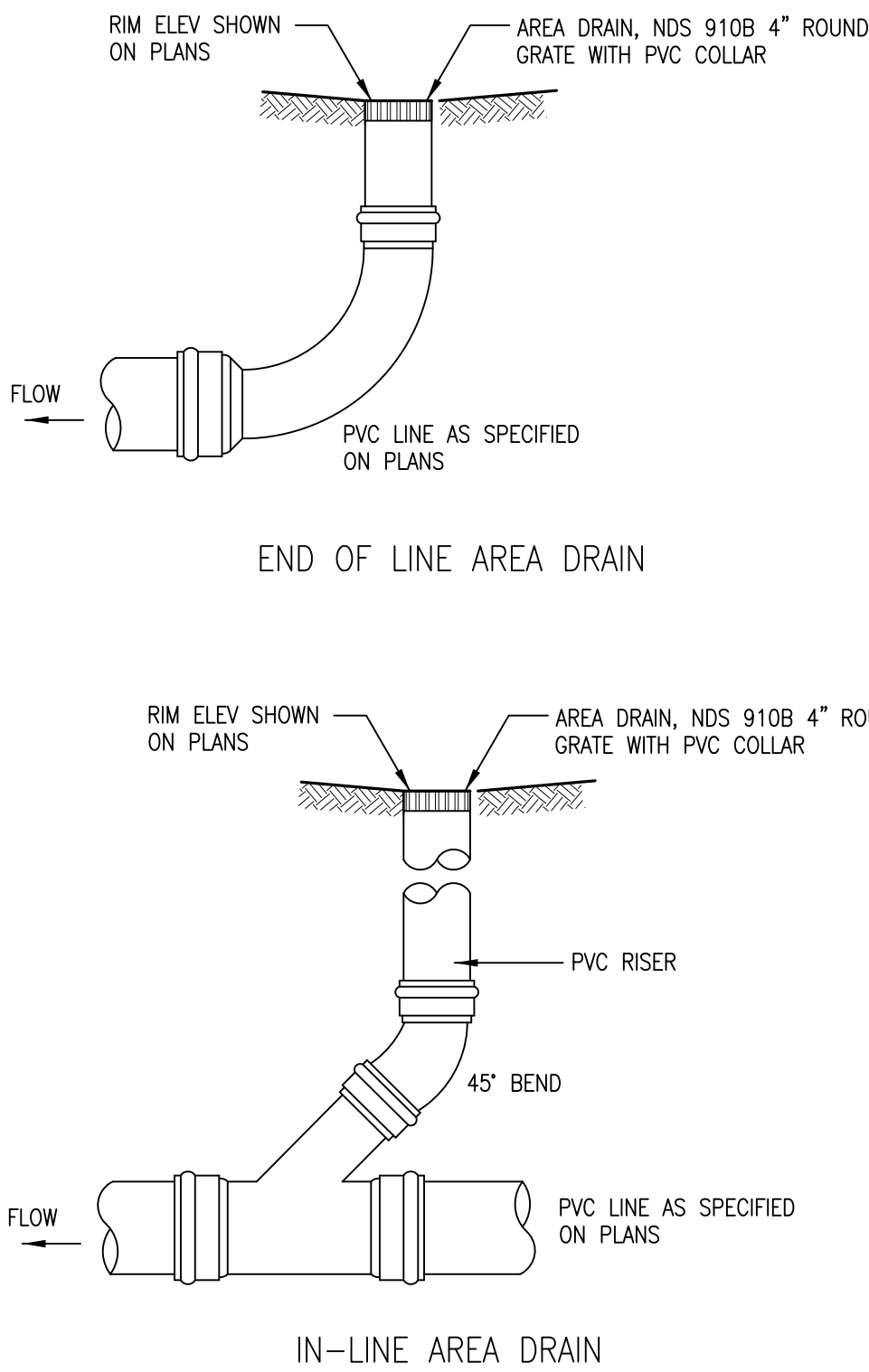
CONCRETE WASHOUT AREA

3



FIBER ROLL DETAIL

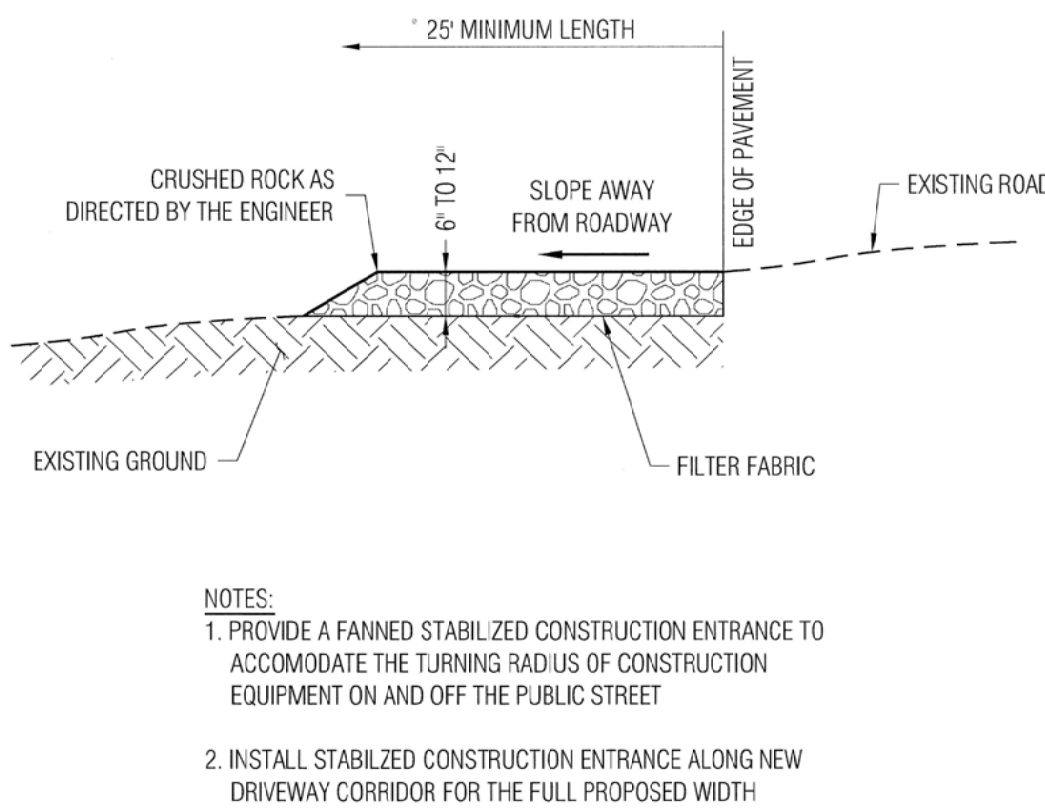
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AREA DRAIN DETAILS

SCALE: N.T.S.

4



STABILIZED CONSTRUCTION ENTRANCE

2

XU & DENG
RESIDENCE

465 BENVENUE AVENUE
LOS ALTOS, CA
APN: 189-53-031

W E C
& ASSOCIATES

2625 MIDDLEFIELD RD #658
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TEL: (650) 823-6466
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LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

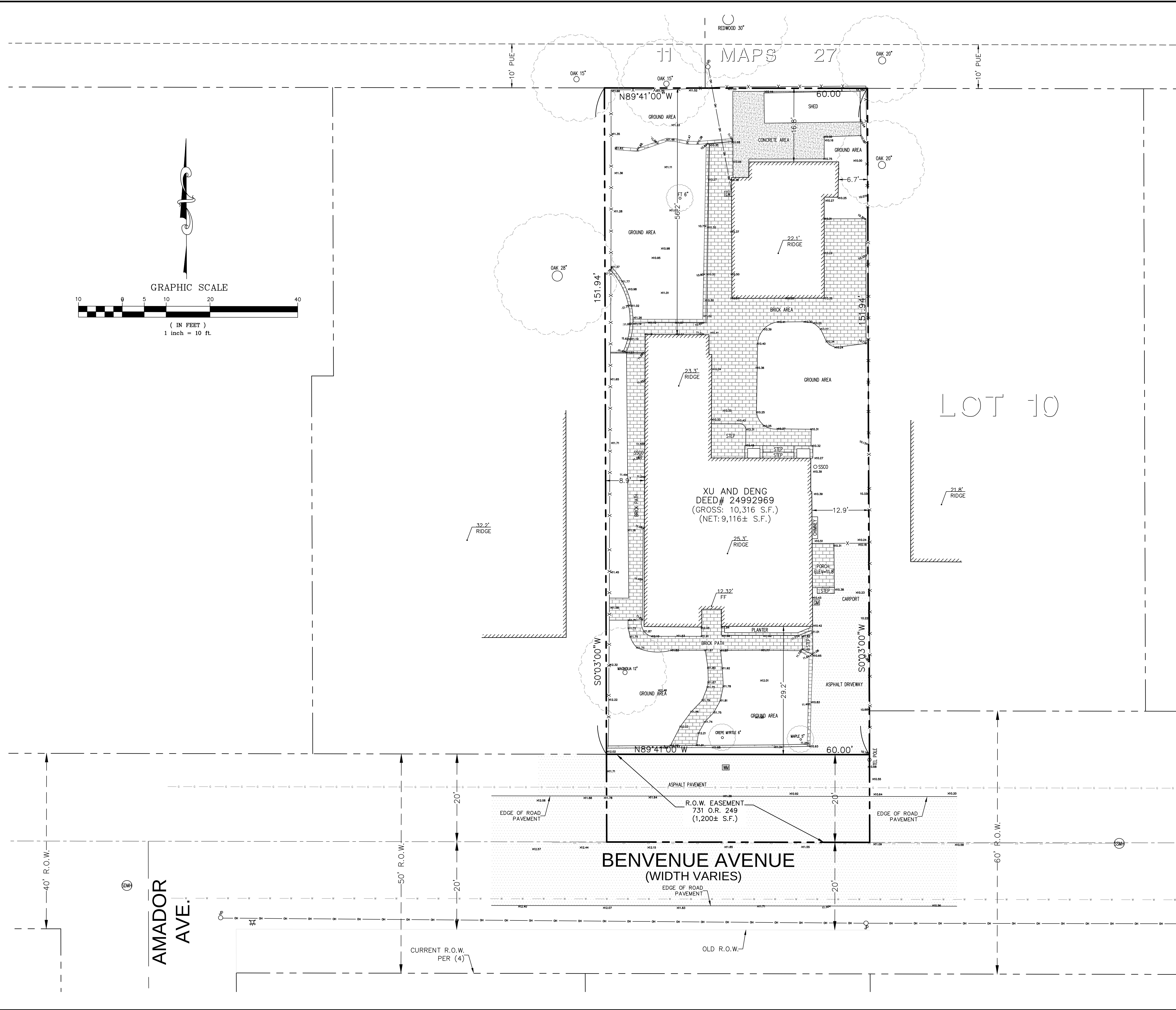
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SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:

DETAILS

SHEET NO.

C.4



ABBREVIATIONS AND LEGEND			
BSBL	BUILDING SETBACK LINE		SANITARY SEWER MANHOLE
CATCH	CATCH BASIN		STORM DRAIN MANHOLE
CONC	CONCRETE		FIRE HYDRANT
EM	ELECTRIC METER	—SS—	SANITARY SEWER LINE
EP	EDGE OF PAVEMENT	—W—	WATER LINE
FT	FRUIT TREE	—OH—	OVERHEAD ELECTRICAL LINE
GM	GAS METER	—G—	GAS LINE
GND	GROUND		
R.O.W.	RIGHT OF WAY		
JP	JOINT POLE		
PUE	PUBLIC UTILITY EASEMENT		
SP	SIGN POLE		
SSCO	SANITARY SEWER CLEAN OUT		
SNF	SEARCH FOR NOT FOUND		
TC	TOP OF CURB		
TEL	TELEPHONE		
UNK T	UNKNOWN TREE		
WM	WATER METER		
---	BOUNDARY LINE		
-X-X-	EXISTING FENCE LINE		
---	EXISTING BUILDING OUTLINE		
()	INDICATES REFERENCE MAP NUMBER		

- REFERENCE INFORMATION
- (1) 8 MAPS 48, SANTA CLARA COUNTY RECORDS
 - (2) 861 MAPS 41, SANTA CLARA COUNTY RECORDS
 - (3) 28 MAPS 39, SANTA CLARA COUNTY RECORDS
 - (4) 166 MAPS 43, SANTA CLARA COUNTY RECORDS
 - (5) 726 MAPS 11, SANTA CLARA COUNTY RECORDS
 - (6) 11 MAPS 27, SANTA CLARA COUNTY RECORDS

EASEMENTS:

EASEMENTS SHOWN ARE BASED ON A REVIEW OF THE SUBDIVISION MAP AND A PRELIMINARY REPORT BY OLD REPUBLIC TITLE COMPANY, DATED 03/18/2020.

- NOTE:
- (1) DATE OF FIELD SURVEY: JANUAR, 2025.
 - (2) UNLESS OTHERWISE NOTED, TREES SHOWN WERE MEASURED AT THE GROUND AND TRUNK DIAMETERS WERE MEASURED 4" ABOVE GROUND. DRIP LINES WERE NOT MEASURED AND DEPICTED GRAPHICALLY IN THEIR APPROXIMATE LOCATIONS ONLY.
 - (3) ALL DISTANCES AND DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.
 - (4) BUILDING OUTLINE WAS MEASURED AT BUILDING EXTERIOR FINISH WALL SURFACE UNLESS OTHERWISE NOTED.
 - (5) ELEVATION SHOWN ARE ON NAVD 88 ELEVATION DATUM.

UTILITY NOTE

THE SURFACE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM RECORDS OF THE VARIOUS AGENCIES. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THEIR INDICATED LOCATION, SIZE, OR TYPE. RECORD UTILITY INFORMATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

SPECIAL NOTE:

THE LOT AREA SHOWN ON THIS BOUNDARY SURVEY MAP IS CALCULATED BASED ON PRECISE FIELD MEASUREMENTS AND THE DIMENSIONS RECORDED ON OFFICIAL SUBDIVISION OR RECORD OF SURVEY MAPS. THIS AREA IS DETERMINED BY A LICENSED SURVEYOR AND REFLECTS THE MOST ACCURATE AND RELIABLE INFORMATION AVAILABLE. PLEASE BE AWARE THAT FIGURES FROM CITY/COUNTY RECORDS OR REAL ESTATE WEBSITES MAY DIFFER DUE TO VARIATIONS IN DATA SOURCES OR ESTIMATION METHODS AND SHOULD NOT BE CONSIDERED AS ACCURATE AS THIS SURVEY.

SURVEYOR'S STATEMENT

I CERTIFY THAT THIS PARCEL'S BOUNDARY LINES WERE ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYORS' ACT, PURSUANT TO PLS ACT 8762.b.(2&4), A RECORD OF SURVEY MAP IS IN THE PROCESS OF PREPARATION.

BOUNDARY TOPOGRAPHIC SURVEY

XU AND DENG
DEED DOC# 24992969
APN 189-53-031

(465 BENVENUE AVENUE)

CITY OF LOS ALTOS SANTA CLARA COUNTY CALIFORNIA
SCALE: 1"=10' JANUARY, 2025

Zhen Wang
ZHEN WANG



02/05/2025
DATE

ZHEN'S LAND SURVEYING CORP.
WALNUT CREEK, CALIFORNIA
TEL: (415)802-9945 | INFO@ZHENSLANDSURVEYING.COM



EXISTING STREET VIEW



PROPOSED STREET VIEW

PROJECT:

465 BENVENUE

465 BENVENUE AVE,
LOS ALTOS, CA

APN: 18953031

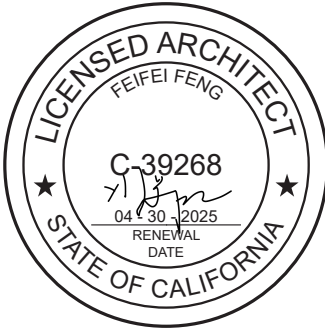
OWNER:
YIZHOU XU
465 BENVENUE AVE
LOS ALTOS, CA 94024
T: 347-601-0719 E: NYLADYACE@GMAIL.COM

ARCHITECTURAL DESIGN:
MOMENT X INC.
2979 21ST ST
SAN FRANCISCO, CA 94110
T: 415.766.8008 E: ADMIN@MOMENTX.STUDIO

CIVIL ENGINEER:
WEC & ASSOCIATES
2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: 650.823.6466 FAX: 650.887.1294

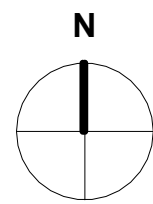
LANDSCAPE:
HOO'S LANDSCAPE DESIGN
TEL: 858.699.9685
EMAIL: LANDSCAPEDESIGNJZ@GMAIL.COM

SURVEYOR:
ZHEN'S LAND SURVEYING CORP.
WALNUT CREEK, CALIFORNIA
TEL: 415.802.9945
EMAIL: INFO@ZHENSLANDSURVEYING.COM



ISSUE RECORD		Date
R1	Revision 1	2025.12.22

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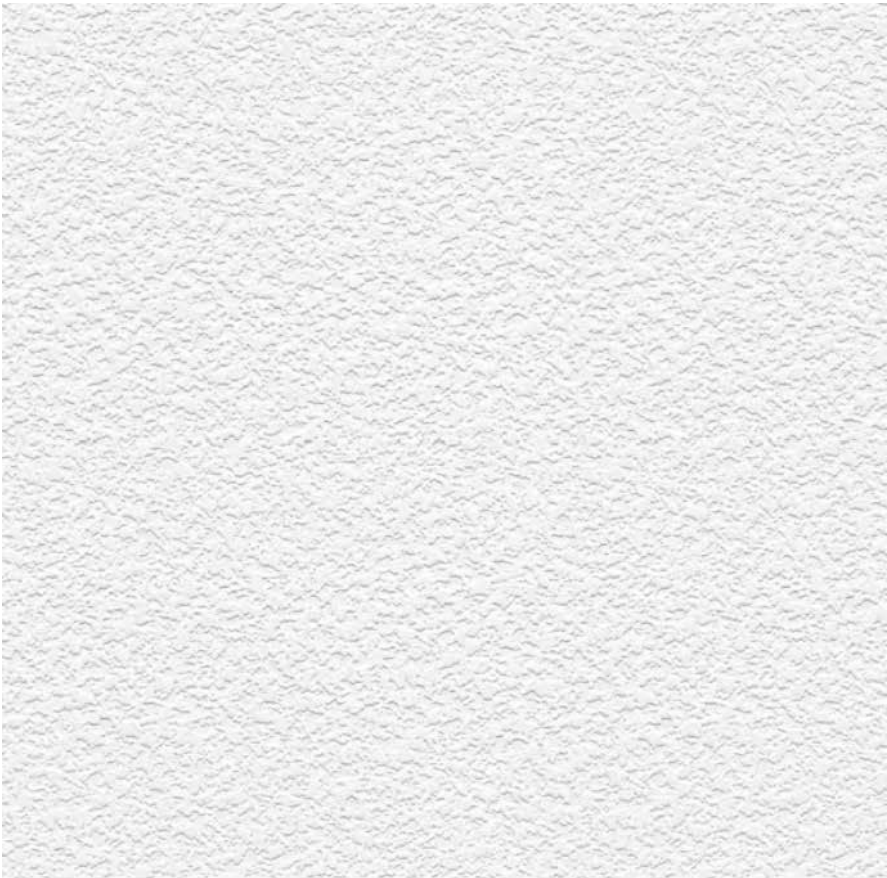


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EXISTING &
PROPOSED
STREET VIEW

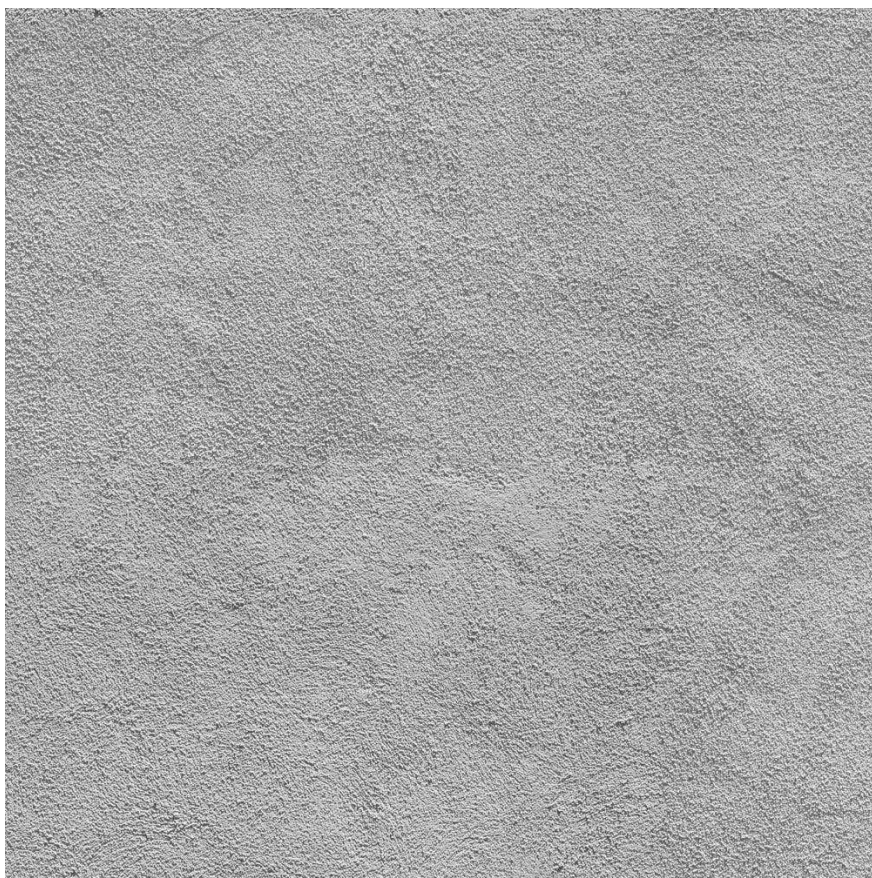
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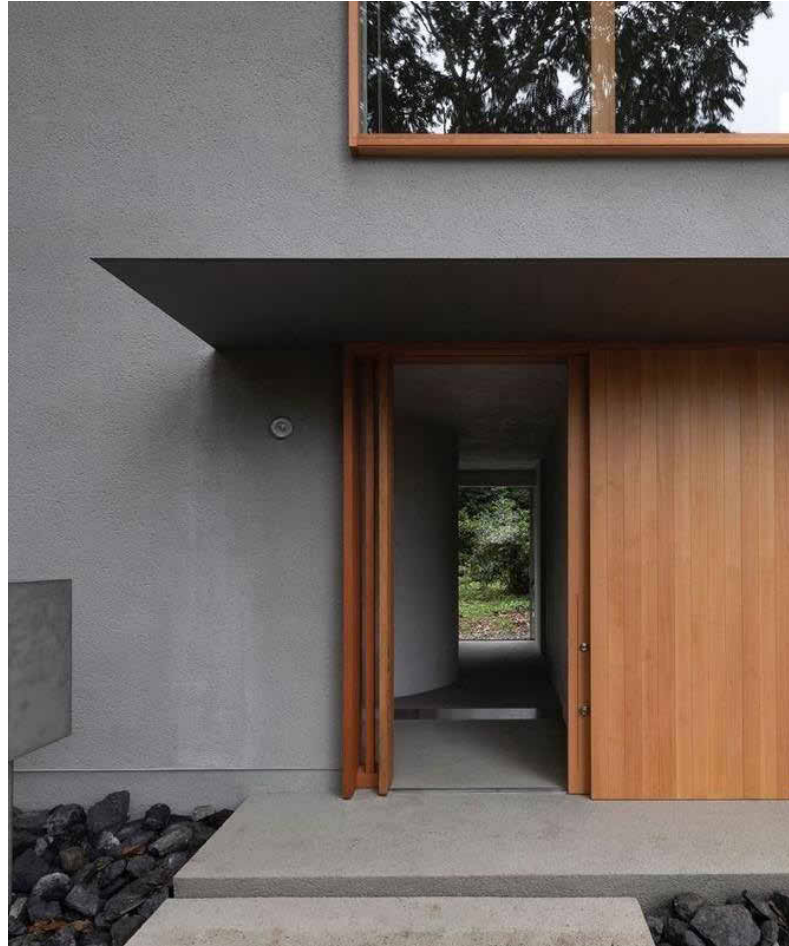
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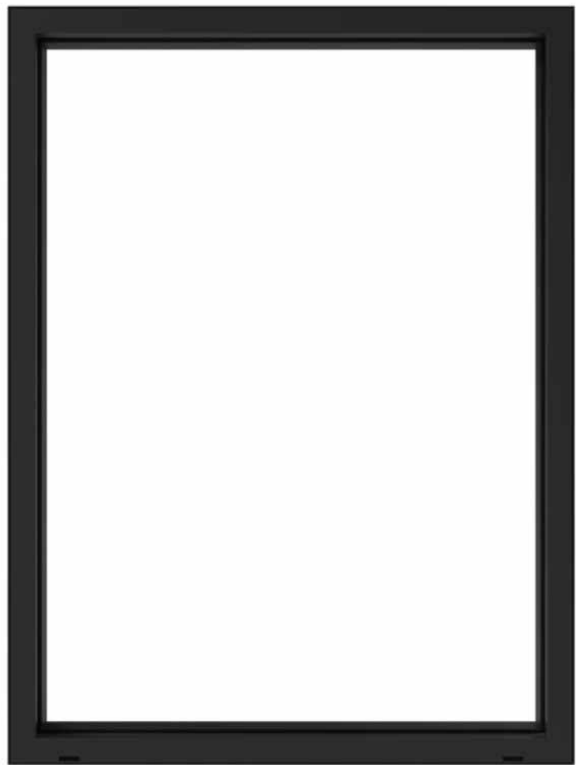
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B: WOOD SLAT EXTERIOR CLADDING - LIGHT WOOD COLOR



C: THIN METAL PLATE OVERHANG - BLACK



D: WINDOWS AND GLASS DOORS WITH FIBER GLASS FRAME, BLACK



D: MULTI-SLIDE GLASS DOORS WITH FIBER GLASS FRAME, BLACK

PROJECT:

465 BENVENUE

465 BENVENUE AVE,
LOS ALTOS, CA

APN: 18953031

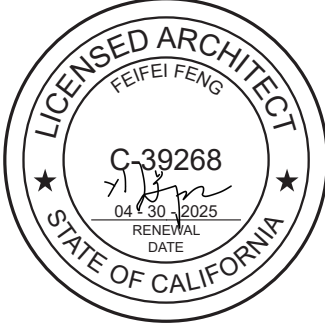
OWNER:
YIZHOU XU
465 BENVENUE AVE
LOS ALTOS, CA 94024
T: 347-601-0719 E: MYLADYACE@GMAIL.COM

ARCHITECTURAL DESIGN:
MOMENT X INC.
2979 21ST ST
SAN FRANCISCO, CA 94110
T: 415.766.8008 E: ADMIN@MOMENTX.STUDIO

CIVIL ENGINEER:
WEC & ASSOCIATES
2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: 650.823.6466 FAX: 650.887.1294

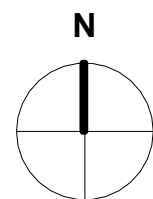
LANDSCAPE:
HOO'S LANDSCAPE DESIGN
TEL: 858.699.9685
EMAIL: LANDSCAPEDESIGNJZ@GMAIL.COM

SURVEYOR:
ZHEN'S LAND SURVEYING CORP.
WALNUT CREEK, CALIFORNIA
TEL: 415.802.9945
EMAIL: INFO@ZHENSLANDSURVEYING.COM



ISSUE RECORD		Date
R1	Revision 1	2025.12.22

ORIENTATION:



SHEET TITLE:
EXTERIOR
MATERIALS AND
COLOR PLAN

SET:	PLANNING SET
DATE:	12.18.2025
DRAWN:	© MOMENT X, 2025

SHEET NO:

A0.5

PROJECT:

465 BENVENUE

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APN: 18953031

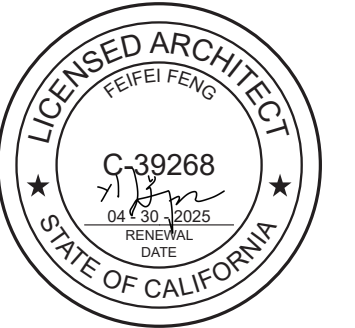
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465 BENVENUE AVE
LOS ALTOS, CA 94024
T: 347-601-0719 E: MYLADYACE@GMAIL.COM

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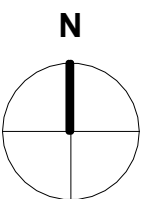
CIVIL ENGINEER:
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2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
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[illegible]

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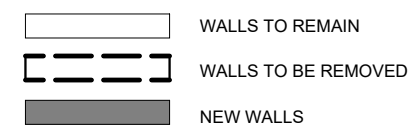


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**EXISTING FIRST
FLR PLAN**

SET:	PLANNING SET
DATE:	12.18.2025
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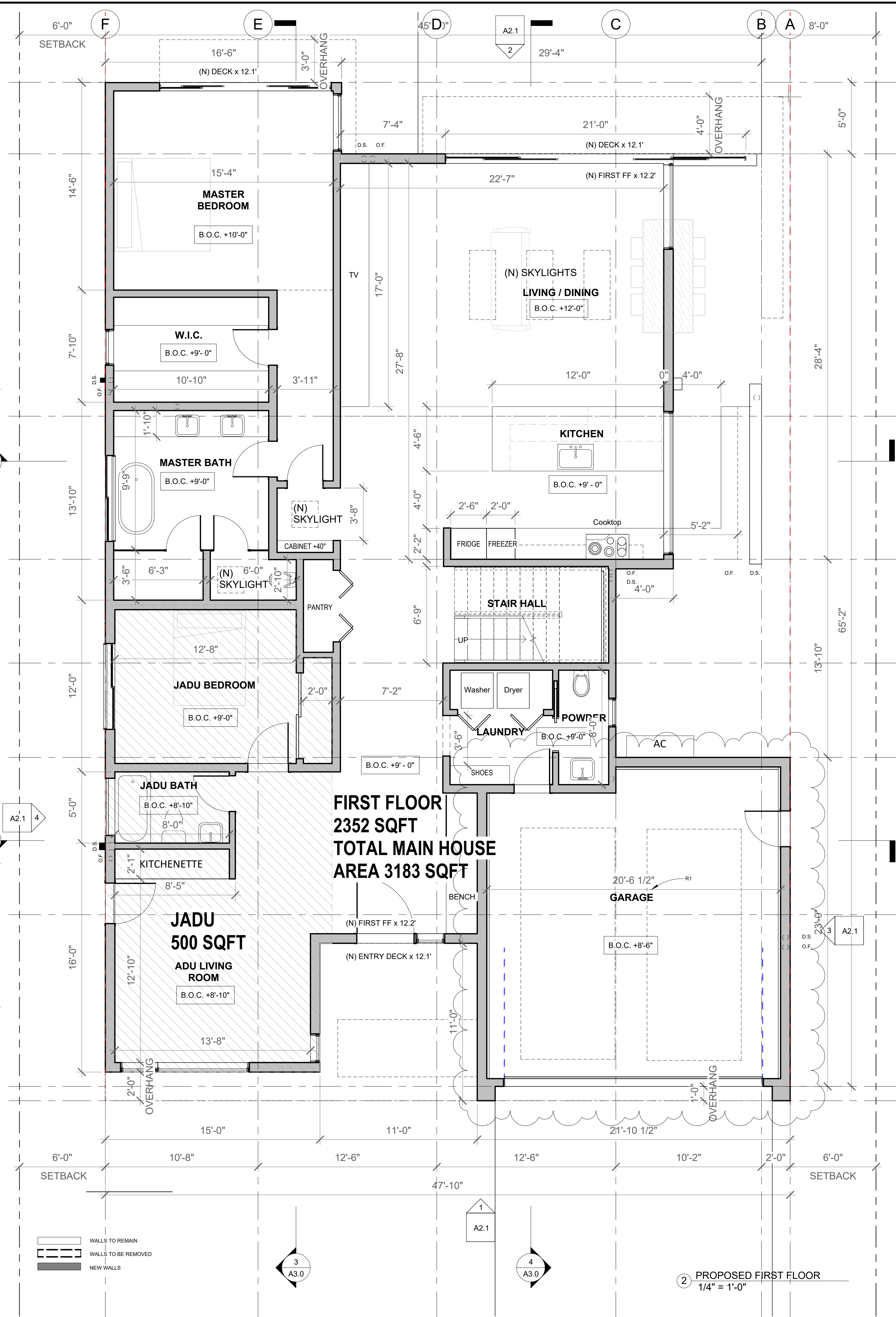
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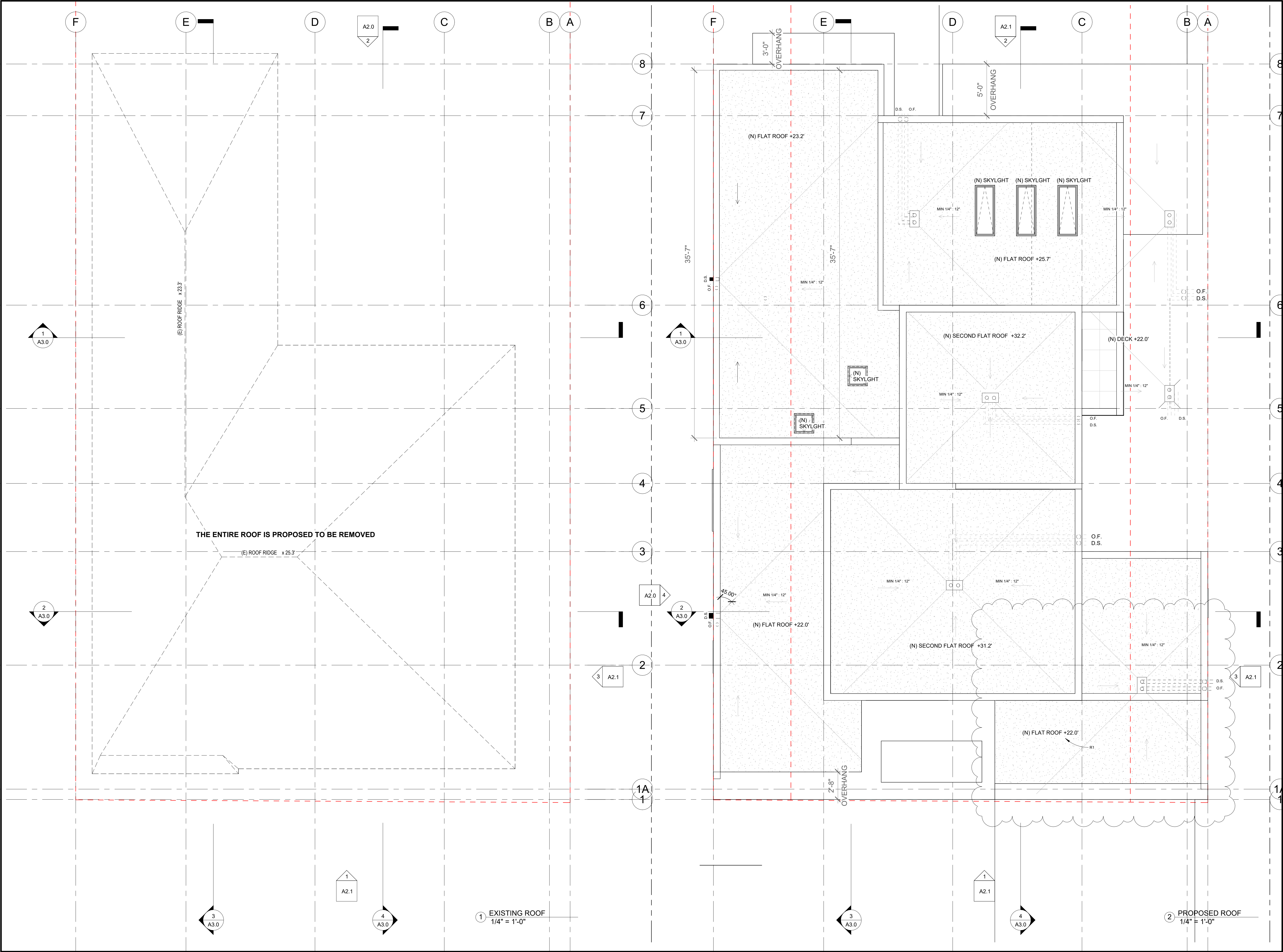


EXISTING FIRST FLOOR
1/4" = 1'-0"

$$1/4" = 1'-0"$$



Original drawing is 36 x 24. Do not scale contents of this drawing



PROJECT:

465 BENVENUE

465 BENVENUE AVE,
LOS ALTOS, CA

APN: 18953031

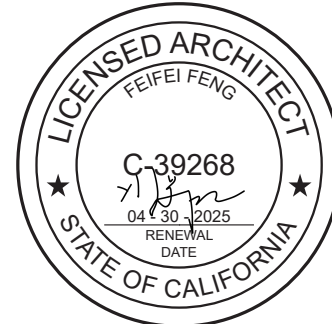
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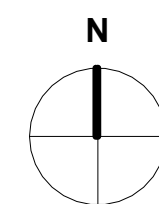
LANDSCAPE:
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ISSUE RECORD	Date
R1 Revision 1	2025.12.22

ORIENTATION:



SHEET TITLE:
**EXISTING &
PROPOSED ROOF
PLAN**

SET: PLANNING SET

DATE: 12.18.2025

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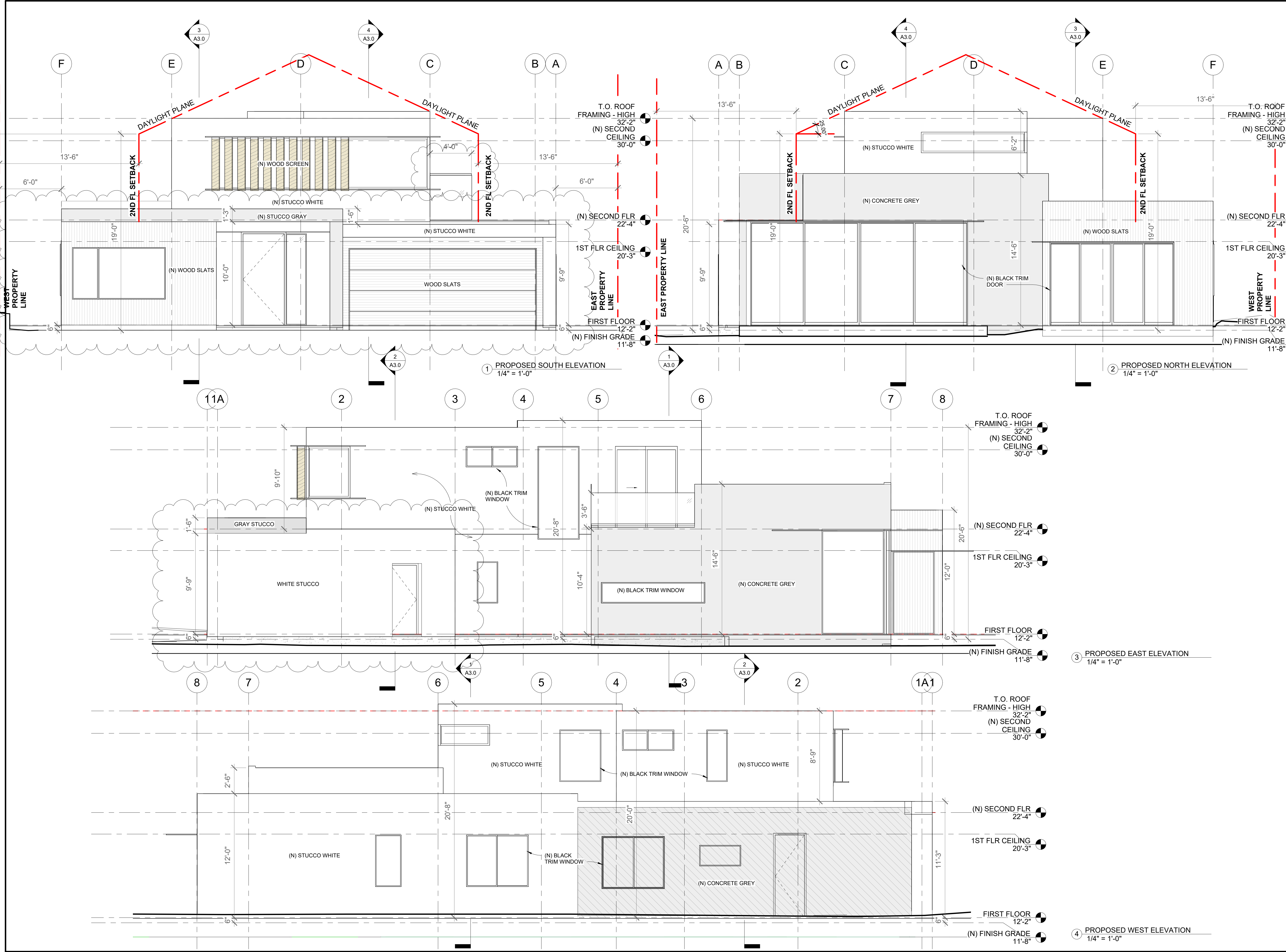
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A1.2

465 BENVENUE

A2.0

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Page 29 of 30



PROJECT:

465 BENVENUE

465 BENVENUE AVE,
LOS ALTOS, CA

APN: 18953031

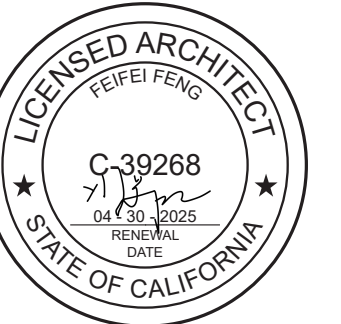
OWNER:
YIZHOU XU
465 BENVENUE AVE
LOS ALTOS, CA 94024
T: 347-601-0719 E: NYLADYACE@GMAIL.COM

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SAN FRANCISCO, CA 94110
T: 415.766.8008 E: ADMIN@MOMENTX.STUDIO

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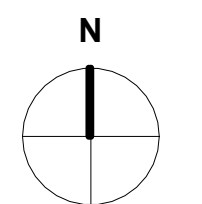
LANDSCAPE:
HOO'S LANDSCAPE DESIGN
TEL: 858.699.9685
EMAIL: LANDSCAPEDESIGNJZ@GMAIL.COM

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ISSUE RECORD	Date
R1 Revision 1	2025.12.22

ORIENTATION:

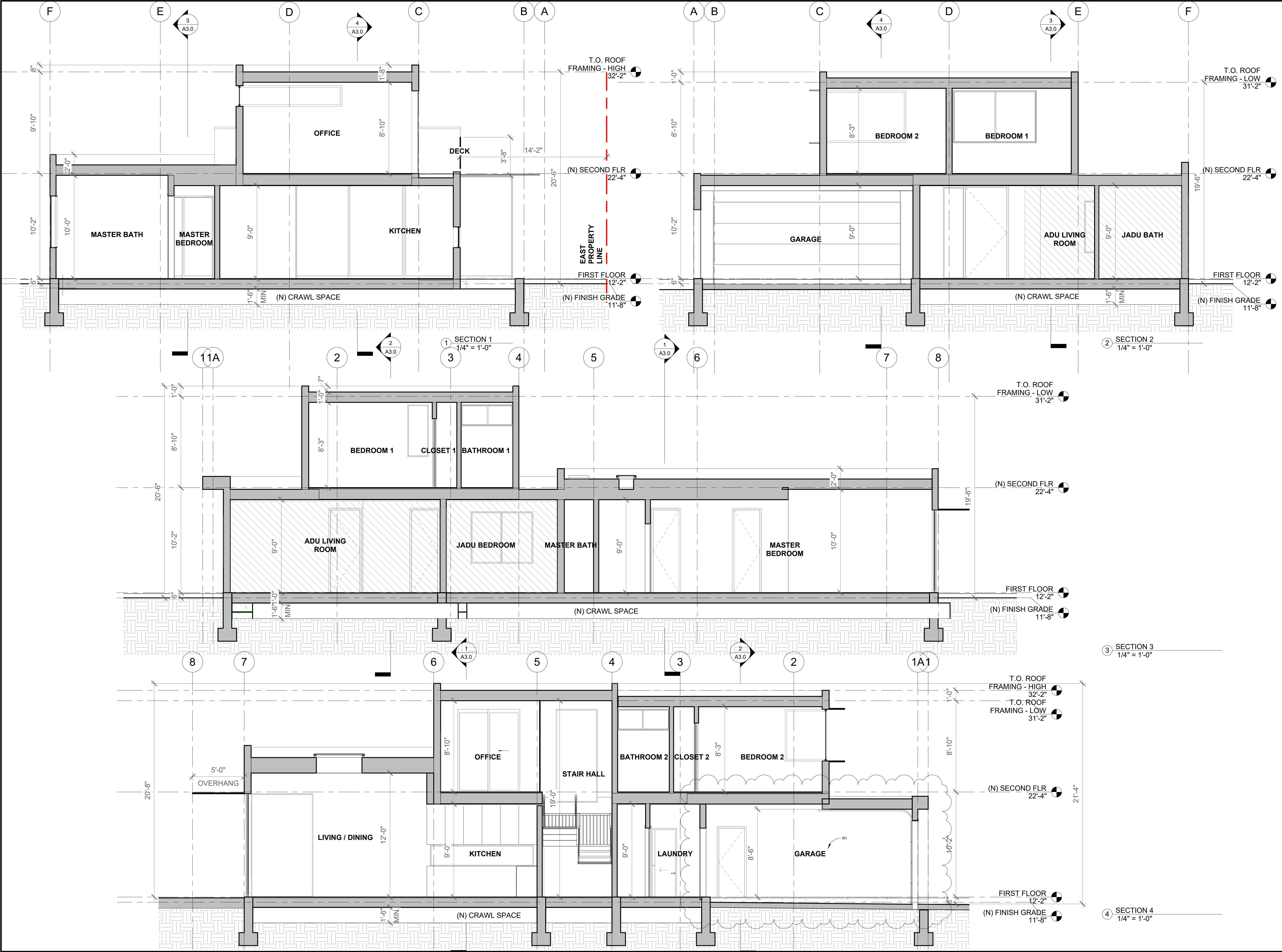


SHEET TITLE:
**PROPOSED
ELEVATIONS**

SET:	PLANNING SET
DATE:	12.18.2025
DRAWN:	© MOMENT X, 2025

SHEET NO:

A2.1



PROJECT:

465 BENVENUE

465 BENVENUE AVE,
LOS ALTOS, CA

APN: 18953031

OWNER:

YIZHOU XU

465 BENVENUE AVE
LOS ALTOS, CA 94024
T: 347-601-0719 E: NYLADYACE@GMAIL.COM

ARCHITECTURAL DESIGN:

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T: 415.766.8008 E: ADMIN@MOMENTX.STUDIO

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WEC & ASSOCIATES

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PALO ALTO, CA 94306
TEL: 650.823.6466 FAX: 650.887.1294

LANDSCAPE:

HOO'S LANDSCAPE DESIGN

TEL: 858.699.9685
EMAIL: LANDSCAPEDESIGNJIZ@GMAIL.COM

SURVEYOR:

ZHEN'S LAND SURVEYING CORP.

WALNUT CREEK, CALIFORNIA
TEL: 415.802.9945
EMAIL: INFO@ZHENSLANDSURVEYING.COM

LICENSED ARCHITECT

FEIFEI FENG

C-39268

EXPIRATION DATE

RENEWAL DATE

STATE OF CALIFORNIA

ISSUE RECORD

R1

Revision 1

Date

2025.12.22

ORIENTATION:

N

SHEET TITLE:

SECTIONS

SET:

PLANNING SET

DATE:

12.18.2025

DRAWN:

© MOMENT X, 2025

SHEET NO:

A3.0

PROJECT INFORMATION

- a Date: 12/05/2025
- b Applicant: Jingni Zhang - Landscape Architect
- c Project Address: 465 Benvenue Ave, Los Altos
- d Owner: Yizhou Xu
- e New Landscape Area: 2707 sq.ft, including 615 sq.ft of lawn
(23%of total new landscape area)
- f Project Description: Landscape design for entire yard
- g Water Provider: California Water Service Company
- h Contact of Applicant:
Jingni Zhang
858-699-9685
landscapedesignjz@gmail.com

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape and irrigation design plan."

"I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package."

Jingni Zhang

- LANDSCAPE PLAN - see sheet L.01
- PLANTING PLAN - see sheet L.02
- WATER EFFICIENT WORKSHEET & HYDROZONE - see sheet L.03
- IRRIGATION PLAN - see sheet L.04

Project Name and Address

465 Benvenue Ave
Los Altos

REVISIONS	DATE



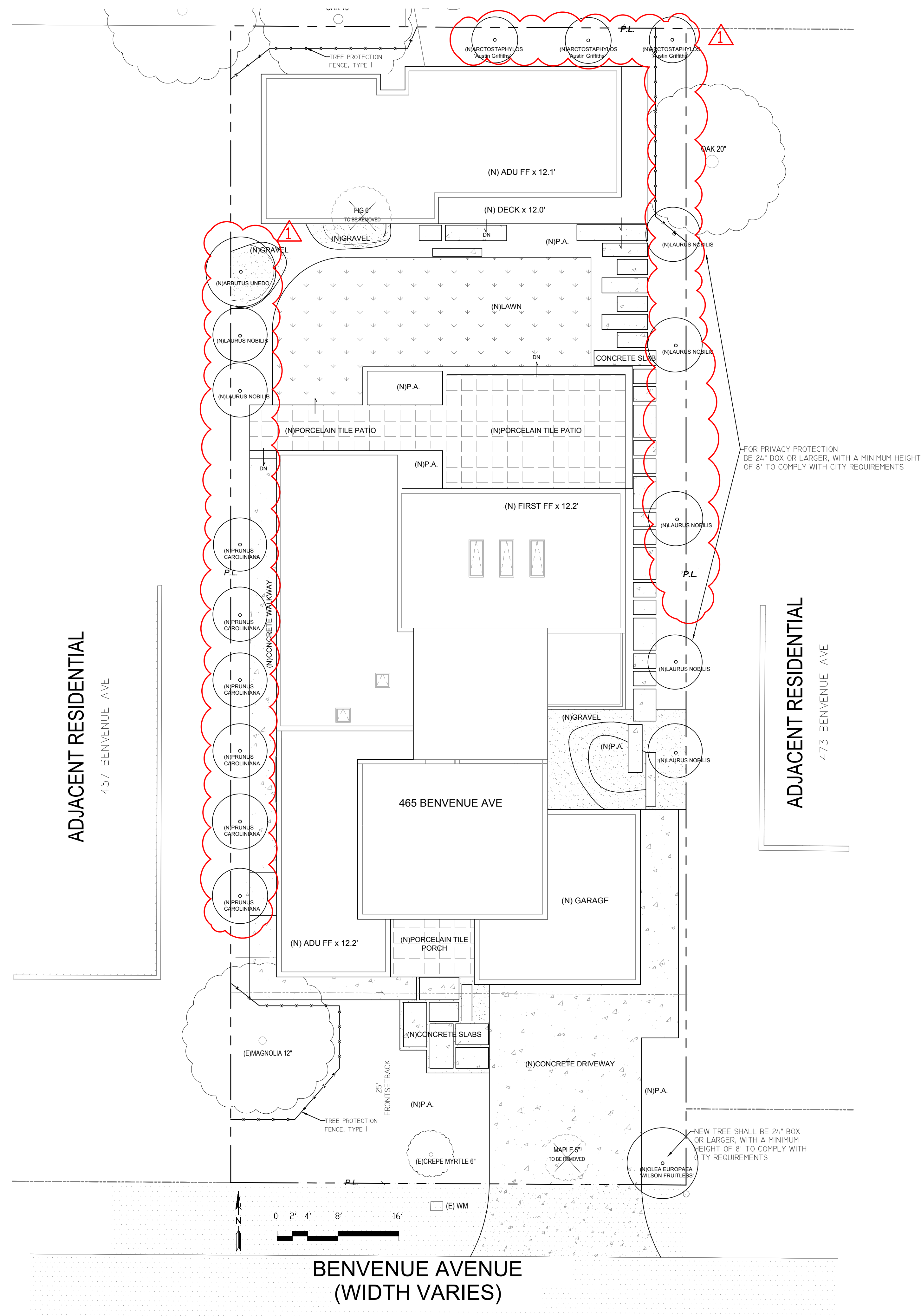
Hoo's Landscape Design
(858) 699-9685
landscapedesignJZ@gmail.com

Date:	12/05/2025
Scale:	1/8"=1'-0"
Drawn by:	JZ

Sheet

L-0

COVER



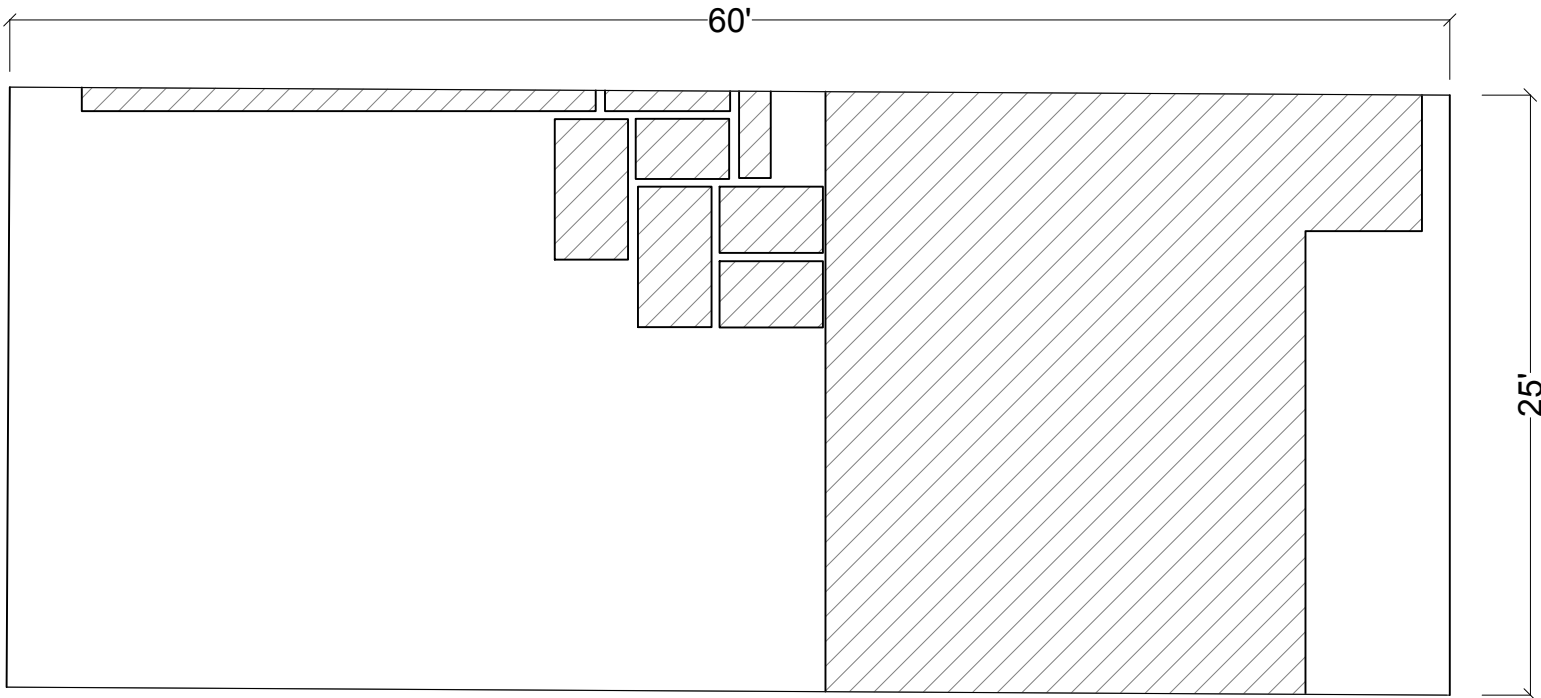
GENERAL NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, THE LOCATION OF ALL TREES WITHIN THE LIMIT OF WORK, UTILITIES, AND ALL SITE ELEMENTS PRIOR TO BEGINNING THE WORK.
2. PERFORM ALL WORK IN CONFORMANCE WITH REQUIREMENTS AND OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS. OBSERVE ALL SETBACKS SHOWN ON THE PLANS AND AS OTHERWISE MAY BE REQUIRED.
3. SOME ADJUSTS/MODIFICATIONS MAY BE REQUIRED DUE TO CONSIDERATIONS OF ACTUAL SITE CONDITIONS.
4. DIMENSIONS ARE TO TAKE PRECEDENCE OVER SCALES AT ALL TIMES. LARGE SCALE DETAILS ARE TO TAKE PRECEDENCE OVER THOSE AT SMALL SCALE.
5. REFER TO PLANTING PLAN FOR PLANTING NEW PLANTS.

FRONT YARD SETBACK AREA: 1500 SQ.FT.

IMPERVIOUS AREA: 587 SQ.FT. (41.7%) <50%

PERVIOUS AREA: 913 SQ.FT.(58.3%)



Project Name and Address

465 Benvenue Ave
Los Altos

REVISIONS	DATE
PLAN REVIEW COMMENTS	12/06



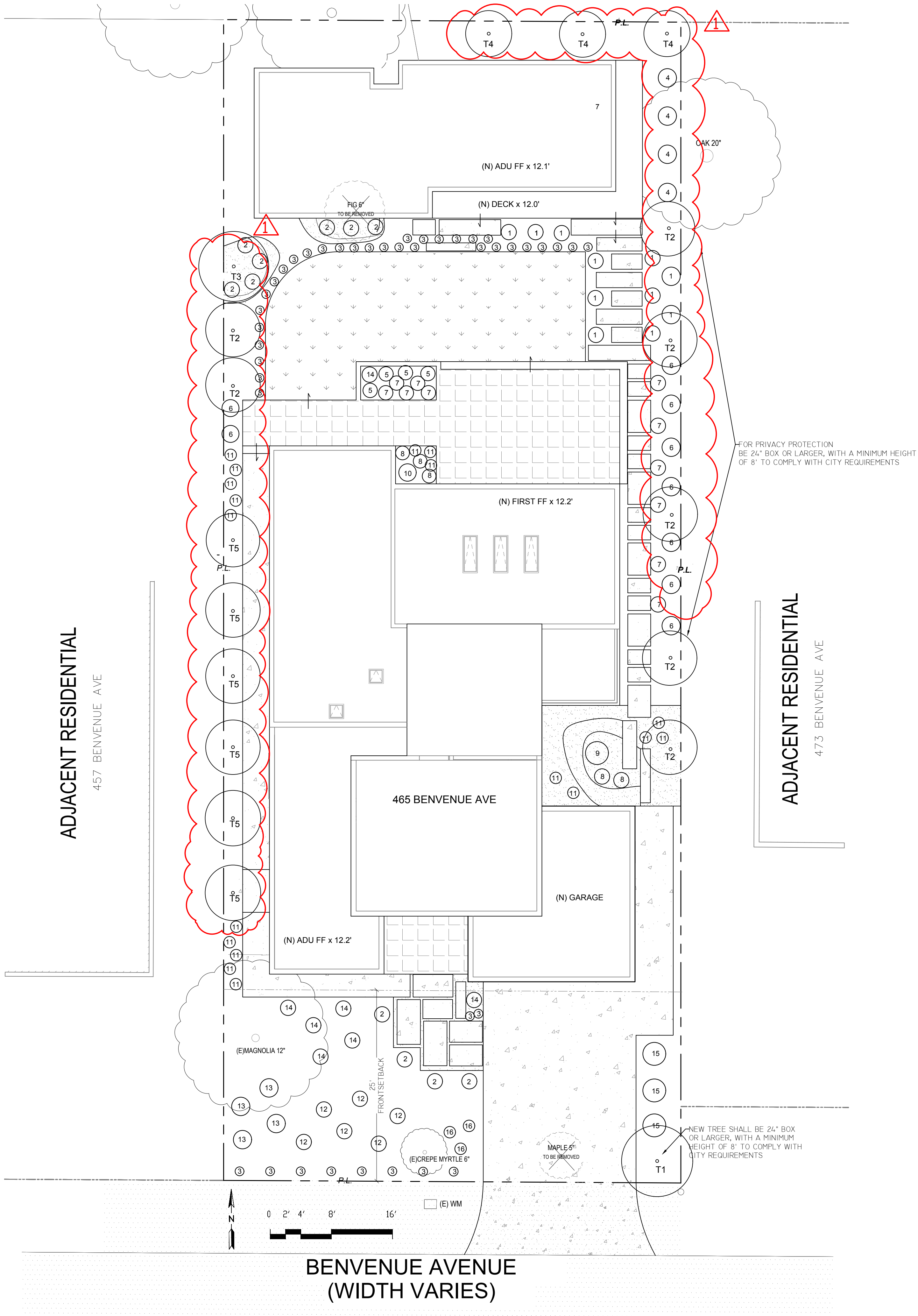
Hoo's Landscape Design
(858) 699-9685
landscapedesignJZ@gmail.com

Date:	12/06/2025
Scale:	1/8"=1'-0"
Drawn by:	JZ

Sheet

L-1

LANDSCAPE PLAN



TURF, PLANTING, SOIL MANAGEMENT NOTES:

- 1 TURF SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA IN RESIDENTIAL AREAS
- 2 PLANTS WITH SIMILAR WATER NEEDS ARE GROUPED WITHIN HYDROZONES
- 3 INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF SIX INCHES INTO LANDSCAPE AREA(UNLESS CONTRA-INDICATED BY A SOIL TEST)
- 4 INSTALL 3 INCH DEEP LAYER OF TOP DRESS MULCH ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN AREAS OF DIRECT SEEDING APPLICATION OR SOD LAWN. USE VISION RECYCLING DARK BROWN MAHOGONY COLORED WONDER MULCH OR DARK BROWN PRO CHIP BARK OR OTHER MULCH APPROVED BY THE OWNER
- 5 GRADING SHALL BE DESIGNED TO MINIMIZE SOIL EROSION, RUN-OFF AND WATER WASTE ADDITIONAL NOTES
- 6 DON'T TRENCH TOO CLOSE TO STRUCTURES WITHOUT THE APPROVAL OF THE BUILDING ARCHITECT, CIVIL, OR STRUCTURAL ENGINEER
- 7 PRIOR TO ORDERING PLANTS OR SIGNING FINAL CONTRACT FOR WORK MAKE SURE YOU HAVE THE MOST CURRENT SET OF APPROVED PLANS AND MAKE SURE THERE ARE NO CHANGES TO THE PLANT CHOICES
- 8 ADJUST FINAL LOCATIONS OF PLANTS TO AVOID CONFLICTS WITH UTILITIES, LIGHTS, AND IRRIGATION COMPONENTS. SCREEN VALVES AND UTILITIES WITH PLANTS. DON'T PUT PLANTS TOO CLOSE TO PAVING OR BUILDINGS
- 9 GRADING AND DRAINAGE TO BE DONE ACCORDING TO THE APPROVED GRADING AND DRAINAGE PLANS DONE BY OTHERS
- 10 SEE ARBORIST REPORT FOR TREE PROTECTION MEASURES

PLANT LEGEND

PROPOSED SHRUBS AND PERENNIALS

KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WUCOLS RATING
1	Lomandra longifolia 'Breeze'	Breeze Dwarf Mat Rush	5 gallons	11	L
2	Lomandra longifolia 'Platinum Beauty'	Platinum Beauty Mat Rush	5 gallons	11	L
3	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	1 gallon	42	L
4	Dietsa bicolor	Fortnight lily	5 gallons	4	L
5	Agave lophantha 'Quadricolor'	Quadricolor Agave	5 gallons	4	L
6	Olea europaea 'Little Ollie'	Little Ollie Olive	5 gallons	9	L
7	Calandrinia spectabilis	Shining Pink Rock Purslane	1 gallon	11	L
8	Pittosporum tenuifolium 'Golf Ball'	Golf Ball Kohuhu	5 gallons	5	L
9	Nandina domestica	Heavenly Bamboo	15 gallons	1	L
10	Hydrangea macrophylla	Bigleaf Hydrangea	5 gallons	1	M
11	Liriope muscari 'Big Blue'	Big Blue Lilyturf	1 gallon	18	M
12	Limonium perezii	Sea Lavender	1 gallon	6	L
13	Anigozanthos 'Yellow Gem'	Yellow Gem Kangaroo Paw	5 gallons	4	L
14	Senecio vitalis	Narrow-Leaf Chalksticks	5 gallons	5	L
15	Rosa spp.	Rose	5 gallons	3	M
16	Hemerocallis 'Stella d'Oro'	Daylily 'Stella d'Oro'	1 gallon	3	M

PROPOSED TREE

KEY	BOTANICAL NAME	COMMON NAME	PHOTO	MATURE SIZE (HxW)	QTY	WULCO
T1	Olea europaea 'Wilson Fruitless'	Fruitless Olive 'Wilsonii'		30x25 ft.	1	L
T2	Laurus nobilis	Bay Laurel		20x10 ft.	7	L
T3	Arbutus 'Marina'	Marina Strawberry Tree		30x30 ft.	1	L
T4	Arctostaphylos 'Austin Griffiths'	Austin Griffiths Manzanita		10x8 ft.	3	L
T5	Prunus caroliniana	Carolina Cherry Laurel		25x15 ft.	6	M

Project Name and Address

465 Benvenue Ave
Los Altos

REVISIONS	DATE
PLAN REVIEW COMMENTS	12/06

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landscapedesignJZ@gmail.com

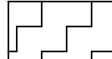
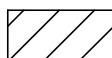
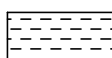
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Scale:	1/8"=1'-0"
Drawn by:	JZ

Sheet

L-2

PLANTING PLAN



	HYDROZONE	VALVES	DESCRIPTION	GPM	SQ.FT	% OF TOTAL AREA
	HYD 1	1	DRIP, LOW WATER	1.53	674	24.9%
	HYD 2	2	DRIP, MIX WATER (LOW AND MODERATE)	0.9	360	13.3%
	HYD 3	3	SPRAY, HIGH WATER, LAWN	2.38	615	22.7%
	HYD 4	4	DRIP, LOW WATER	4.9	870	32.1%
	HYD 5	5	DRIP, MIX WATER (LOW AND MODERATE)	1.2	188	7.0%
TOTAL (New Landscape/Irrigation area)					2707	100%

WATER EFFICIENT LANDSCAPE WORKSHEET

Reference Evapotranspiration (ET_o) 43.0[illegible]

ETWU (Annual Gallons Required) = $E_{to} \times 0.62 \times ETAF \times Area$
 where 0.62 is a conversion factor that converts acre- inches per acre per year
 to gallons per square foot per year.

MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + (1-ETAF) x SLA]] where 0.62 is a conversion factor that converts acre- inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non- residential areas.

ETAF Calculations All Landscape Areas		
Total ETAF x Area	1383.81	
	2707	
Average ETAF	0.51	<0.55

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Project Name and Address

465 Benvenue Ave
Los Altos

REVISIONS	DATE
△ PLAN REVIEW COMMENTS	12/11



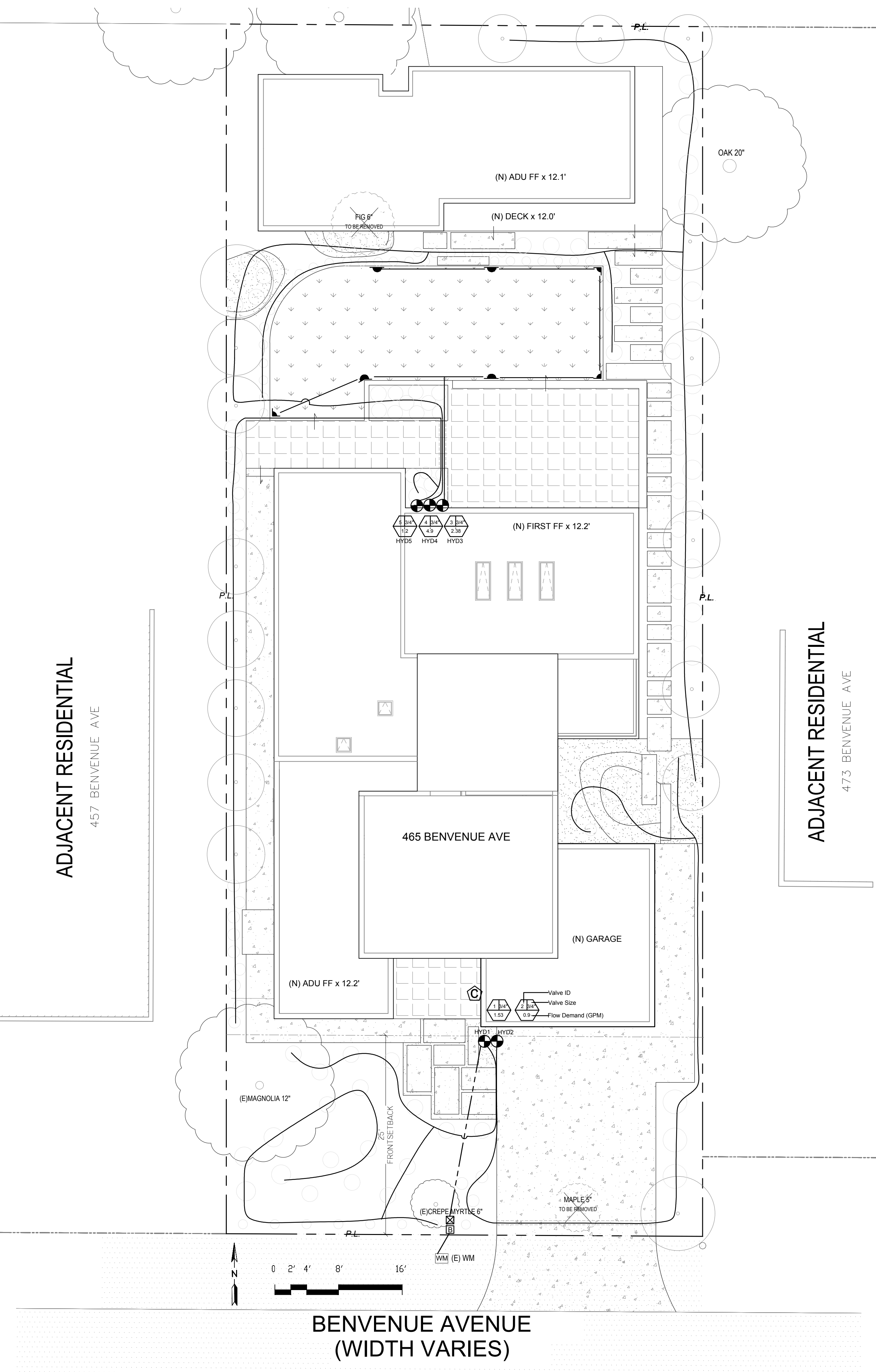
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(858) 699-9685
landscapedesignJZ@gmail.com

Date:	12/11/2025
Scale:	1/8"=1'-0"
Drawn by:	JZ

Sheet

L-3

WATER EFFICIENT LANDSCAPE WORKSHEET & HYDROZONE PLAN



IRRIGATION NOTES:

- (A) AUTOMATIC IRRIGATION CONTROLLERS ARE REQUIRED AND MUST USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
- (B) IRRIGATION CONTROLLERS SHALL BE OF A TYPE WHICH DOES NOT LOSE PROGRAMMING DATA IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED.
- (C) PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURES RECOMMENDED PRESSURE RANGE.
- (D) MANUAL SHUT-OFF VALVES (SUCH AS A GATE VALVE, BALL VALVE, OR BUTTERFLY VALVE) SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
- (E) ALL IRRIGATION EMISSION DEVICES MUST MEET THE REQUIREMENTS SET IN THE ANSI STANDARD, ASABE/ICC 802-2014. "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD." ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.65 OR HIGHER USING THE PROTOCOL DEFINED IN ASABE/ICC 802-2014.
- (F) IRRIGATION SUBMETERS ARE REQUIRED FOR RESIDENTIAL PROJECTS WITH MORE THAN 5,000 SQ.FT. OF LANDSCAPE AREA.

ADDITIONAL NOTES:

- THIS SYSTEM IS DESIGNED TO OPERATE WITH MINIMUM 45 PSI AT THE POINT OF CONNECTION. IF THIS CONDITION IS NOT MET CONTACT THE LANDSCAPE ARCHITECT FOR POSSIBLE REDESIGN.
- IRRIGATION PLAN IS DIAGRAM ONLY. DO NOT PUT VALVES TOO CLOSE TO TREES. STAY 8" TO 10" AWAY IF POSSIBLE. DO NOT PUT PRESSURE LINES UNDER TREES. INSTALL LINES IN PLANTING AREA INSTEAD OF UNDER PAVING WHENEVER POSSIBLE.
- ALL PIPES AND VALVES SHALL BE INSTALLED WITHIN THE PROPERTY LINE. VERIFY THE LOCATION FOR ADEQUATE SPACE AND DEPTH PRIOR TO INSTALLATION.
- POINT OF CONNECTION WILL TYPICALLY BE JUST BEFORE WATER ENTERS HOUSE. INSTALL 3/4" TEE AND BALL VALVE AND RUN 3/4" SCH 40 PVC TO VALVE LOCATIONS. KEEP ANTI-SIPHON VALVES IN CONSPICUOUS PLACES. INSTALL 6" TO 12" ABOVE HIGHEST SPRINKLER OR DRIP EMITTER ON THE CIRCUIT. KEEP VALVES OUT OF PATHS.
- MAKE PROVISIONS TO ADD AN EXTRA CONTROL WIRE TO THE LOCATIONS OF THE VALVES WITH LARGE GPM FLOWS SO THAT EXTRA VALVES CAN BE ADDED IF THERE ISN'T ENOUGH WATER VOLUME AVAILABLE AT NECESSARY PRESSURE.
- BE SURE AND FOLLOW THE PLANS. YOU WILL PROBABLY BE REQUIRED TO HAVE A LICENSED/CERTIFIED LANDSCAPE PROFESSIONAL OBSERVE THE LANDSCAPE CONSTRUCTION AT PERIODIC INTERVALS AND FILL OUT A CERTIFICATE OF INSTALLATION. THIS PERSON WILL ALSO BE RESPONSIBLE FOR PROVIDING AN IRRIGATION SCHEDULE FOR NEW PLANTINGS AND MATURE PLANTINGS AND A LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE.
- PLANTING AND IRRIGATION LOCATIONS AND QUANTITIES ARE BEST ESTIMATES. CONTRACTOR SHALL VERIFY THESE DURING CONSTRUCTION.
- IRRIGATION PLAN IS DIAGRAM ONLY. ALL PIPES AND VALVES SHALL BE INSTALLED WITHIN THE PROPERTY LINE. VERIFY THE LOCATIONS FOR ADEQUATE SPACE AND DEPTH PRIOR TO INSTALLATION.

DRIP IRRIGATION NOTES:

- SECURE LARGER 3/4" DRIP TUBING 1" BELOW GRADE WITH 7" OR 11" U-SHAPED STAKES 3' ON CENTER OR CLOSER SO THAT THE TUBING CAN BE FOUND EASILY BUT DOES NOT SHOW IF THE MULCH GET BRUSHED AWAY. COVER TUBING WITH SOIL AND MULCH AND INSTALL MANUAL FLUSH VALVE AT ENDS OF TUBING AND MARK THEM SO THEY AN BE FOUND EASILY.
- RUN LARGE TUBING OVER AND NEXT TO ROOT BALL OF PLANTS TO MINIMIZE LENGTH OF SMALLER 1/4" TUBING. SECURE EMITTERS ON 3/4" TUBING AT PLANT ROOT BALLS. WHEN NECESSARY RUN SHORT LENGTHS OF 1/4" TUBING FROM EMITTERS TO ROOT BALLS. INSTALL STAKES ON 1/4" TUBING AT 12" ON CENTER AND COVER TUBING WITH 1" OF SOIL PLUS MULCH.
- AS THE PLANT AND ROOT BALL INCREASE IN SIZE, THE LOCATIONS OF THE EMITTERS MAY NEED TO BE ADJUSTED SO THEY ARE EVENLY SPACED OVER THE ROOT BALL.
- INSTALL PRESSURE COMPENSATING EMITTERS (WITH MINIMAL DIFFERENCE IN FLOW BETWEEN 10 PSI AND 40 PSI) AT EACH PLANT ON ROOT BALL . USE AGRIFIM PC PLUS EMITTERS. USE THE ONES THAT 1/4" TUBING CAN BE CONNECTED TO.

EMITTER SCHEDULE:

- A. TWO 1 GPH EMITTERS AT SMALL SHRUBS(LOW WATER USE) - 3, 5, 7, 11, 12, 14
- B. TWO 2 GPH EMITTERS AT SMALL SHRUBS(MODERATE WATER USE) and AT MEDIUM SHRUBS (LOW WATER USE) - 1, 2, 4, 6, 8, 9, 10, 13, 15, 16
- C. FOUR 2 GPH EMITTERS AT TREES(LOW WATER USE) - T1, T2, T3, T4

IRRIGATION LEGEND

- Water Meter (House Main)
- Backflow prevention & Pressure Regulation Devices - Senninger PRLV and FEBCP 825Y or CA Approved Equal
- Irrigation shutoff valve - Gate or Ball Valve
- Hunter WR-CLIK Wireless Rain/Freeze Sensor. Wall Mount as Directed by Owner.
- Remote Control Valve in Valve Box, RAIN BIRD 3/4" Anti-siphon Valve or equal.
- Hunter MP1000 90-210(10'-15' radius, adjustable from 90° to 210°)
- Pressure Line - 3/4" PVC Sch 40 Pipe. 18" Cover.
- Sleeve for Control wire, 1-1/2" schedule 40 PVC pipe. 18" cover
- 1-1/4" PVC Sleeve under pavement
- 3/4" PE Drip tubing or PVC pipe

465 Benvenue Ave
Los Altos

Project Name and Address

REVISIONS	DATE
PLAN REVIEW COMMENTS	12/11

Hoo's Landscape Design
(858) 699-9685
landscapedesignJZ@gmail.com

Date: 12/11/2025

Scale: 1/8"=1'-0"

Drawn by: JZ

Sheet

L-4

IRRIGATION PLAN

From: Jennifer Song

Sent: Monday, January 12, 2026 11:39 PM

To: Brittany Whitehill <BWhitehill@losaltosca.gov>

Subject: Feedback and concerns to new construction plan at 465 Benvenue Ave

Hi Brittany

Thank you again for taking the time to speak with me by phone the other day.

I am writing to follow up on the plan resubmission of my next-door neighbor at 465 Benvenue Ave. Unfortunately, the revised submission does not meaningfully address the concerns raised by adjacent neighbors during the outreach process. Instead, it appears that the objections were acknowledged procedurally but not substantively resolved. I would like to reiterate the following outstanding issues:

1. Second-floor west-facing windows and loss of privacy

The proposed design includes two exceptionally large second-floor windows on the west side of the house, directly facing the most private areas of our home—three bedrooms and one bathroom. While the applicants state that approximately nine trees will be planted between the two properties, the plans do not specify the trees' planting height or the timeline required for them to provide effective privacy screening. Based on typical growth rates (1–5 feet at planting and approximately 2 feet per year), it takes at least five to seven years before these trees offer meaningful privacy. Given the two areas those windows are located (stairway and bedroom) have big windows on other sides, we requested either removal of these windows or conversion to clerestory windows above eye level, which will not compromise their intaking of light. These requests were not addressed in the resubmitted plans.

2. ADU door facing our bedrooms at close proximity

The attached ADU includes a door that opens directly toward our bedrooms, located approximately five feet from the shared fence line. We requested that the applicants either reorient the door or increase the setback from our property. The concerns about the noises and foot traffic from/to the ADU entrance also remain unaddressed.

3. Excessive density on a narrow lot

In the outreach process, all the neighbors were shocked by the fact that they are building such high density multi unit structures. On a very narrow and relatively small lot, the proposal includes two highly compact units—an attached ADU and a detached ADU—each only four to five feet from our property line. This level of density is out of character with the surrounding neighborhood and significantly impacts the established high-end residential character of the area.

While the applicants have technically fulfilled the requirement to conduct neighborhood outreach, no solutions have been offered to mitigate the impacts raised by adjacent neighbors. As the immediate next-door neighbor, I have serious concerns regarding privacy intrusion, noise from the ADU entrance, and the overall massing and density of the project. I understand that some considerations—such as general privacy concerns—may be viewed as subjective in the context of a multi-unit project not being regulated by city but

state. However, the placement and size of the two west-facing second-floor windows directly overlooking our private spaces represents a clear and objective privacy intrusion. I respectfully request that the City give careful consideration to these issues and support the community in preventing approval of a plan that causes such disproportionate impacts to adjacent properties.

Thank you for your time and attention. I appreciate your consideration of these concerns.

Sincerely,

Jennifer Song at 457 Benvenue Ave

From: Patty Chiang Love

Sent: Monday, December 15, 2025 9:30 AM

To: Planning Services <planning@losaltosca.gov>

Subject: Comments on Development Application at 465 Benvenue Avenue

Dear Planning Staff,

I am writing as a nearby neighbor regarding the proposed redevelopment at 465 Benvenue Avenue. I appreciated that the applicants hosted a neighborhood meeting on November 24th; however, I would like to register concerns regarding the project's environmental impacts, specifically the effective elimination of space for large-canopy trees on this 10,000 sq ft parcel.

Los Altos' mature tree canopy is a critical environmental resource—contributing to cooling, water retention, air quality, and neighborhood character. Based on the plans shared with neighbors, the combined massing of the new main residence (including the square-footage expansion enabled by the JADU configuration) and the sizable detached ADU occupies nearly all viable planting areas. While a medium magnolia in the front yard is being preserved, the remainder of the landscaping plan relies on ornamental or small-scale plantings that do not replace the ecological value of a true canopy tree.

My concern is not with development itself, but with ensuring that new construction maintains Los Altos' environmental standards and long-term sustainability. A parcel of this size should be able to support both residential structures and meaningful tree canopy. As currently designed, the project forecloses that possibility for decades.

I respectfully request that the Planning Department evaluate whether the current site layout provides adequate space for present and future large-canopy trees, and whether adjustments to building placement or massing could better support the city's environmental and neighborhood character goals.

Thank you for your consideration.

Sincerely,

Patty Chiang Love

432 Benvenue Avenue

Los Altos, CA 94024

From: Jennifer Song

Sent: Tuesday, January 13, 2026 2:34 PM

To: Brittany Whitehill <BWhitehill@losaltosca.gov>

Subject: Re: Feedback and concerns to new construction plan at 465 Benvenue Ave

Hi Brittany,

Thank you for the information.

It is very disappointing to learn that, under current state regulations, we may be unable to protect our most basic quality-of-life needs—namely privacy, quiet enjoyment of our home, and property value—in the face of high-density construction on the adjacent lot in Los Altos.

We appreciate any guidance or measures the City can provide to support thoughtful solutions that require reasonable design mitigations to respect both state mandates and neighboring residents with the established character of the community.

Sincerely,

Jennifer Song